

HISTORIC AND DESIGN REVIEW COMMISSION

June 15, 2022

HDRC CASE NO: 2022-239
ADDRESS: 702 HAYS ST
LEGAL DESCRIPTION: NCB 540 BLK 11 LOT A16
ZONING: R-5, H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Kuba Zarobkiewicz/ZAROBKIEWICZ KUBA
OWNER: Kuba Zarobkiewicz/ZAROBKIEWICZ KUBA
TYPE OF WORK: Demolition of a rear accessory structure and construction of a new accessory structure
APPLICATION RECEIVED: May 17, 2022
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Demolish the existing, rear accessory structure.
2. Construct a 2-story, rear accessory structure to feature a footprint of 624 square feet.

APPLICABLE CITATIONS:

UDC Section 35-614. – Demolition

Demolition of a historic landmark constitutes an irreplaceable loss to the quality and character of the City of San Antonio. Accordingly, these procedures provide criteria to prevent unnecessary damage to the quality and character of the city's historic districts and character while, at the same time, balancing these interests against the property rights of landowners.

(a)Applicability. The provisions of this section apply to any application for demolition of a historic landmark (including those previously designated as historic exceptional or historic significant) or a historic district.

(3)Property Located in Historic District and Contributing to District Although Not Designated a Landmark. No certificate shall be issued for property located in a historic district and contributing to the district although not designated a landmark unless the applicant demonstrates clear and convincing evidence supporting an unreasonable economic hardship on the applicant if the application for a certificate is disapproved. When an applicant fails to prove unreasonable economic hardship in such cases, the applicant may provide additional information regarding loss of significance as provided in subsection (c)(3) in order to receive a certificate for demolition of the property.

(b)Unreasonable Economic Hardship.

(1)Generally. The historic and design review commission shall be guided in its decision by balancing the historic, architectural, cultural and/or archaeological value of the particular landmark or eligible landmark against the special merit of the proposed replacement project. The historic and design review commission shall not consider or be persuaded to find unreasonable economic hardship based on the presentation of circumstances or items that are not unique to the property in question (i.e. the current economic climate).

(2)Burden of Proof. The historic and design review commission shall not consider or be persuaded to find unreasonable economic hardship based on the presentation of circumstances or items that are not unique to the property in question (i.e. the current economic climate). When a claim of unreasonable economic hardship is made, the owner must prove by a preponderance of the evidence that:

- A. The owner cannot make reasonable beneficial use of or realize a reasonable rate of return on a structure or site, regardless of whether that return represents the most profitable return possible, unless the highly significant endangered, historic and cultural landmark, historic and cultural landmarks district or demolition delay designation, as applicable, is removed or the proposed demolition or relocation is allowed;

- B. The structure and property cannot be reasonably adapted for any other feasible use, whether by the current owner or by a purchaser, which would result in a reasonable rate of return; and
- C. The owner has failed to find a purchaser or tenant for the property during the previous two (2) years, despite having made substantial ongoing efforts during that period to do so. The evidence of unreasonable economic hardship introduced by the owner may, where applicable, include proof that the owner's affirmative obligations to maintain the structure or property make it impossible for the owner to realize a reasonable rate of return on the structure or property.

(3)Criteria. The public benefits obtained from retaining the cultural resource must be analyzed and duly considered by the historic and design review commission.

As evidence that an unreasonable economic hardship exists, the owner may submit the following information to the historic and design review commission by affidavit:

A. For all structures and property:

- i. The past and current use of the structures and property;
- ii. The name and legal status (e.g., partnership, corporation) of the owners;
- iii. The original purchase price of the structures and property;

i. The assessed value of the structures and property according to the two (2) most recent tax assessments;

- v. The amount of real estate taxes on the structures and property for the previous two (2) years;
- vi. The date of purchase or other acquisition of the structures and property;
- vii. Principal balance and interest rate on current mortgage and the annual debt service on the structures and property, if any, for the previous two (2) years;
- viii. All appraisals obtained by the owner or applicant within the previous two (2) years in connection

with

- the owner's purchase, financing or ownership of the structures and property;
- ix. Any listing of the structures and property for sale or rent, price asked and offers received;
- x. Any consideration given by the owner to profitable adaptive uses for the structures and property;
- xi. Any replacement construction plans for proposed improvements on the site;
- xii. Financial proof of the owner's ability to complete any replacement project on the site, which may include but not be limited to a performance bond, a letter of credit, a trust for completion of

improvements,

- or a letter of commitment from a financial institution; and
- xiii. The current fair market value of the structure and property as determined by a qualified appraiser.
- xiv. Any property tax exemptions claimed in the past five (5) years.

B. For income producing structures and property:

- i. Annual gross income from the structure and property for the previous two (2) years;
- ii. Itemized operating and maintenance expenses for the previous two (2) years; and
- iii. Annual cash flow, if any, for the previous two (2) years.

C. In the event that the historic and design review commission determines that any additional information described above is necessary in order to evaluate whether an unreasonable economic hardship exists, the historic and design review commission shall notify the owner. Failure by the owner to submit such information to the historic and design review commission within fifteen (15) days after receipt of such notice, which time may be extended by the historic and design review commission, may be grounds for denial of the owner's claim of unreasonable economic hardship.

When a low-income resident homeowner is unable to meet the requirements set forth in this section, then the historic and design review commission, at its own discretion, may waive some or all of the requested information and/or request substitute information that an indigent resident homeowner may obtain without incurring any costs. If the historic and design review commission cannot make a determination based on information submitted and an appraisal has not been provided, then the historic and design review commission may request that an appraisal be made by the city.

(d)Documentation and Strategy.

(1)Applicants that have received a recommendation for a certificate shall document buildings, objects, sites or structures which are intended to be demolished with 35mm slides or prints, preferably in black and white, and supply a set of slides or prints to the historic preservation officer.

(2) Applicants shall also prepare for the historic preservation officer a salvage strategy for reuse of building materials

deemed valuable by the historic preservation officer for other preservation and restoration activities.

(3) Applicants that have received an approval of a certificate regarding demolition shall be permitted to receive a demolition permit without additional commission action on demolition, following the commission's recommendation

of a certificate for new construction. Permits for demolition and construction shall be issued simultaneously if requirements of section 35-609, new construction, are met, and the property owner provides financial proof of his ability to complete the project.

(4) When the commission recommends approval of a certificate for buildings, objects, sites, structures designated as landmarks, or structures in historic districts, permits shall not be issued until all plans for the site have received approval from all appropriate city boards, commissions, departments and agencies. Permits for parking lots shall not

be issued, nor shall an applicant be allowed to operate a parking lot on such property, unless such parking lot plan was approved as a replacement element for the demolished object or structure.

(e) Issuance of Permit. When the commission recommends approval of a certificate regarding demolition of buildings, objects, sites, or structures in historic districts or historic landmarks, permits shall not be issued until all plans for the site have received approval from all appropriate city boards, commissions, departments and agencies. Once the replacement plans are approved a fee shall be assessed for the demolition based on the approved replacement plan square footage. The fee must be paid in full prior to issuance of any permits and shall be deposited into an account as directed by the historic preservation officer for the benefit, rehabilitation or acquisition of local historic resources. Fees shall be as follows and are in addition to any fees charged by planning and development services:

0—2,500 square feet = \$2,000.00

2,501—10,000 square feet = \$5,000.00

10,001—25,000 square feet = \$10,000.00

25,001—50,000 square feet = \$20,000.00

Over 50,000 square feet = \$30,000.00

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

5. Garages and Outbuildings

A. DESIGN AND CHARACTER

i. *Massing and form*—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.

ii. *Building size* – New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.

iii. *Character*—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.

iv. *Windows and doors*—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.

v. *Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

SETBACKS AND ORIENTATION

i. *Orientation*—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley loaded garages were historically used.

ii. *Setbacks*—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.

Standard Specifications for Windows in Additions and New Construction

Consistent with the Historic Design Guidelines, the following recommendations are made for windows to be used in new construction:

- **GENERAL:** Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. All windows should be supplied in a block frame and exclude nailing fins which limit the ability to sufficiently recess the windows.
- **TRIM:** Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail.
- **GLAZING:** Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature true, exterior muntins.
- **COLOR:** Wood windows should feature a painted finish. If a clad or non-wood product is approved, white or metallic manufacturer's color is not allowed and color selection must be presented to staff.

FINDINGS:

- a. The primary structure located at 702 Hays is a 1-story, single-family home constructed circa 1925 in the Craftsman style on a corner lot. The existing rear accessory structure is found on the 1951 Sanborn Map and feature a footprint that is generally consistent with the footprint presently found on site. Both the primary historic structure and the rear accessory structure are contributing to the Dignowity Hill Historic District.
- b. **DESIGN REVIEW COMMITTEE** – The Design Review Committee performed a site visit on May 11, 2022, and viewed the condition of the existing accessory structure. The proposed new construction was reviewed by the DRC on May 24, 2022, where DRC members commented on the proposed setbacks, massing, materials, and roof profile. This request was reviewed again by the DRC on June 7, 2022, where DRC members noted that the found the revised design to be appropriate. DRC members noted that the small rectangular window should be eliminated and that wood garage doors should be used.
- c. **UNREASONABLE ECONOMIC HARDSHIP** – In accordance with UDC Section 35-614, no certificate shall be issued for demolition of a historic landmark unless the applicant provides sufficient evidence to support a finding by the commission of unreasonable economic hardship on the applicant. In the case of a historic landmark, if an applicant fails to prove unreasonable economic hardship, the applicant may provide to the historic and design review commission additional information regarding loss of significance. In order for unreasonable economic hardship to be met, the owner must provide sufficient evidence for the HDRC to support a finding in favor of demolition. The applicant has provided a cost estimate for the rehabilitation of the rear accessory structure and its conversion into a dwelling unit. The applicant has noted a total cost of \$145,482.00.
- d. **LOSS OF SIGNIFICANCE** – In accordance with UDC Section 35-614(c), demolition may be recommended if the owner has provided sufficient evidence to support a finding that the structure has undergone significant and irreversible changes which have caused it to lose the historic, cultural, architectural or archaeological significance, qualities or features which qualified the structure or property for such designation. The applicant has noted that the structure does not have the structural integrity in its framing or foundation.
- e. **NEW CONSTRUCTION** – At this time, the applicant is requesting a Certificate of Appropriateness for approval to construct a 2-story, rear accessory structure.
- f. **MASSING & FORM** – The Guidelines for New Construction 5.A. notes that rear accessory structures are to feature a massing and form that is visually subordinate that that of the primary historic structure in regards to their height, massing and form, should be no larger in plan than forty (40) percent of the primary historic structure's footprint and should relate to the period of construction of the primary historic structure. The applicant has proposed an overall height of approximately twenty-two (22) feet, including the foundation height. The primary historic structure features a height of 18' – 8". The applicant has proposed for an overall footprint of 624 square feet. The historic structure features a footprint of 1,363 square feet. Staff finds the proposed massing and form to be appropriate and consistent with the Guidelines.

- g. **ORIENTATION & SETBACKS** – The Guidelines for New Construction 5.B. notes that the predominant garage orientation and historic setback patterns of the block should be followed. The applicant has proposed a setback that is slightly greater than the historic structure’s front setback on the lot to the immediate south. Staff finds all other setbacks and orientation to be appropriate and consistent with the Guidelines.
- h. **MATERIALS** – The applicant has proposed materials that include wood siding, a standing seam metal roof, 6x6 wood columns, metal balcony railings, and wood trim. Generally, staff finds the proposed materials to be appropriate and consistent with the Guidelines. The standing seam metal roof should feature smooth panels that are 18 to 21 inches in wide, seams that are 1 to 2 inches in height, a crimped ridge seam and a standard galvalume finish.
- i. **WINDOW MATERIALS** – The applicant has proposed to install aluminum clad wood windows. Staff finds the installation of aluminum clad wood windows to be appropriate; however, the proposed windows should be consistent with staff’s standards for new construction.
- j. **CHARACTER/ARCHITECTURAL DETAILS** – The Guidelines for New Construction 5.A. notes that new accessory structures should relate to the primary historic structure in regards to their materials and window and door openings. The applicant has proposed a structure that staff finds to be appropriate and consistent with the Guidelines.

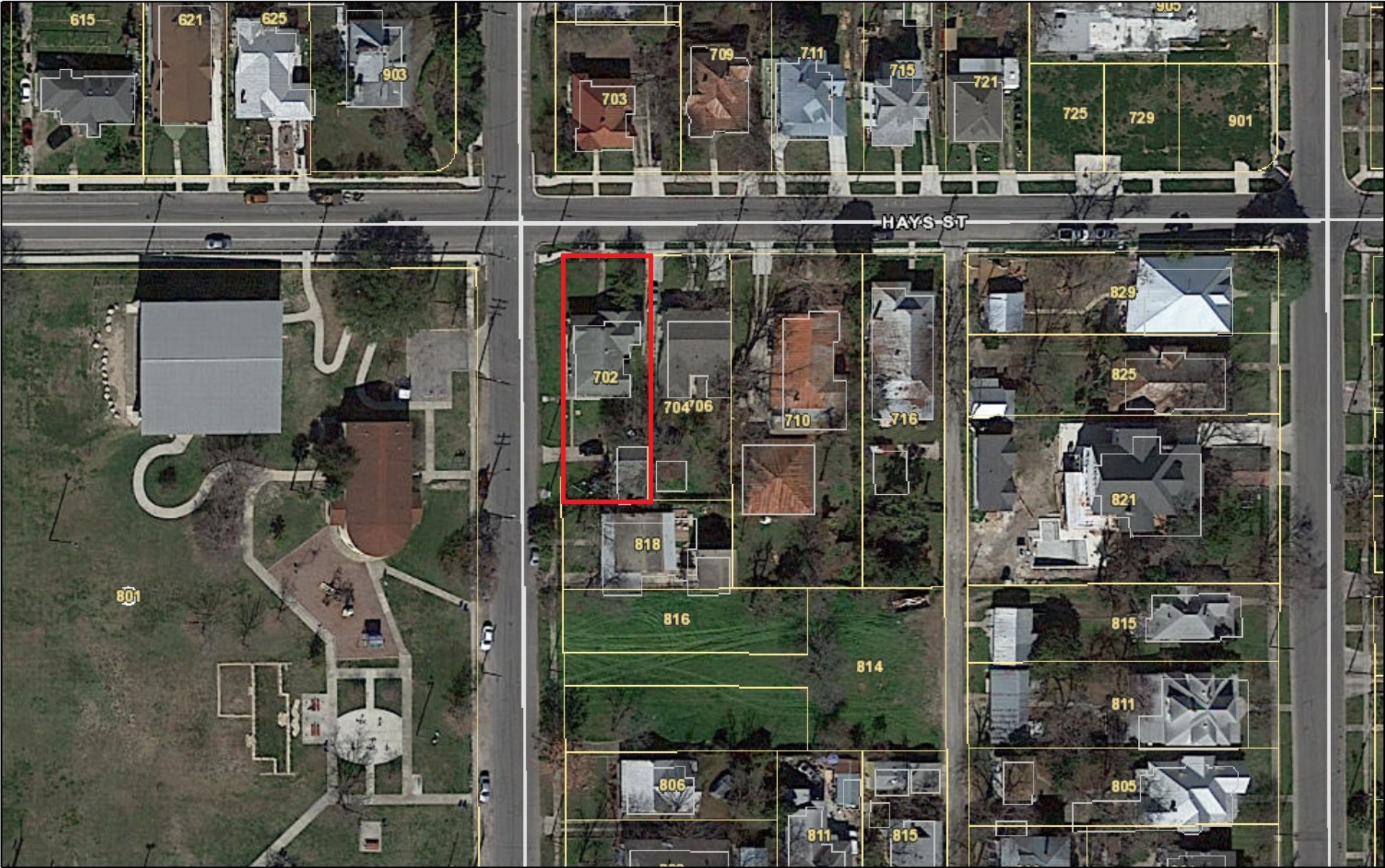
RECOMMENDATION:

- 1. Staff finds that the applicant has made a case for an unreasonable economic hardship, and recommends approval of the demolition of the rear accessory structure with the following stipulation:
 - i. That all existing siding is salvaged, regardless if it is used on site.
- 2. Staff recommends approval of item #2, the construction of a rear accessory structure with the following stipulations:
 - i. That the proposed aluminum clad wood windows adhere to staff’s standards for windows in new construction.
 - ii. That the proposed standing seam metal roof should feature smooth panels that are 18 to 21 inches wide, seams that are 1 to 2 inches in height, a crimped ridge seam or a low profile ridge cap and a standard galvalume finish. If a ridge cap is proposed, it must be submitted for review and approval.

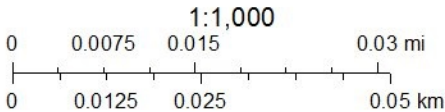
A foundation inspection is to be scheduled with OHP staff to ensure that foundation setbacks and heights are consistent with the approved design. The inspection is to occur after the installation of form work and prior to the installation of foundation materials.

A standing seam metal roof inspection is to be schedule with OHP staff to ensure that roofing materials are consistent with approved design. An industrial ridge cap is not to be used.

City of San Antonio One Stop

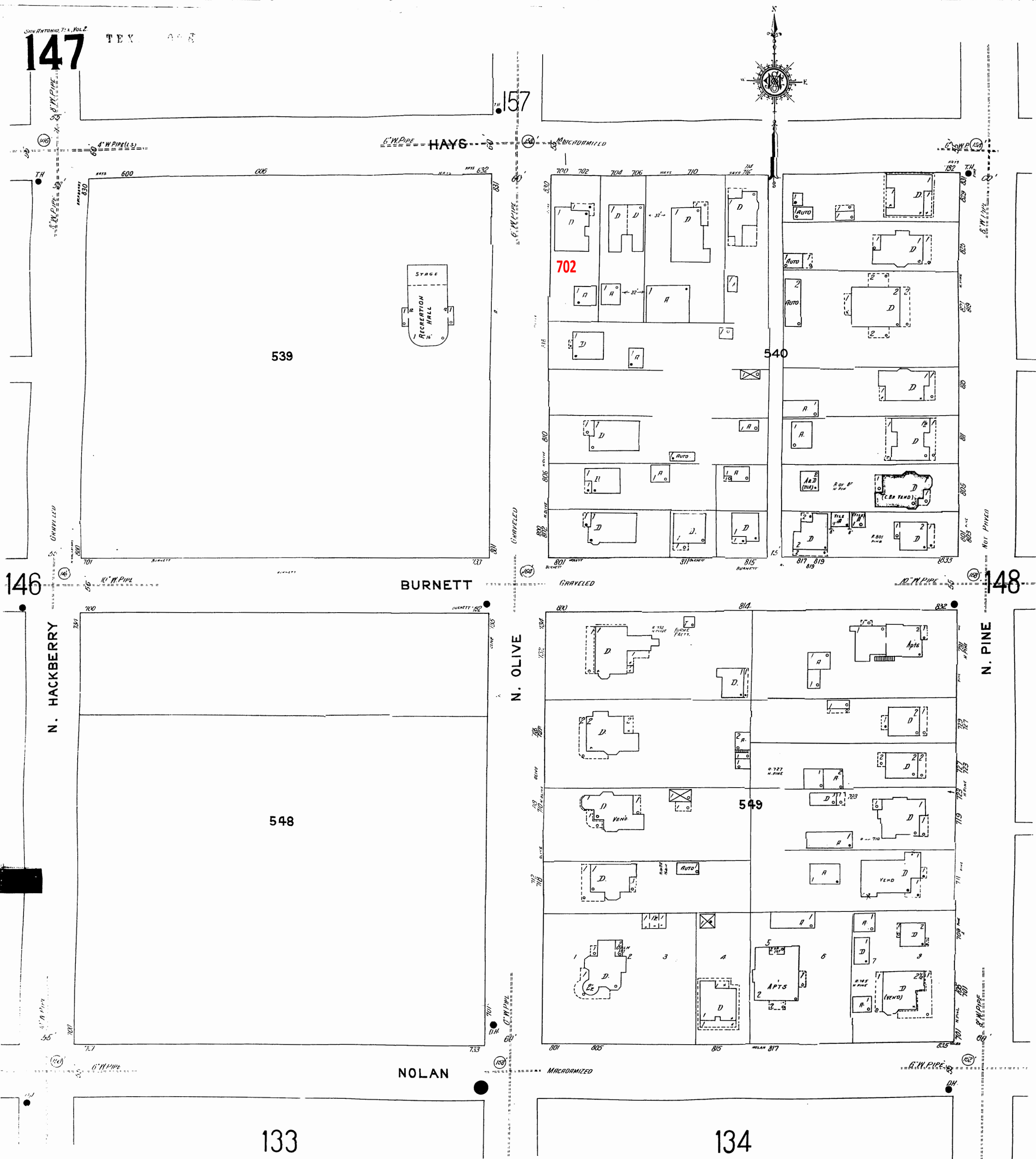


April 29, 2022



SAN ANTONIO, TEX. VOL. 2
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CITY OF SAN ANTONIO
**OFFICE OF HISTORIC
PRESERVATION**

Historic and Design Review Commission
Design Review Committee Report

DATE: May 11, 2022

HDRC Case #: 2022-239

Address: 702 Hays

Meeting Location: 702 Hays

APPLICANT: Kuba Zarobkiewicz

DRC Members present: Jeff Fetzer, Monica Savino, Jimmy Cervantes, Roland Mazuca

Staff Present: Edward Hall

Others present: Antonio Martel, Gabriel Durand-Hollis

REQUEST: Construction of a rear addition, exterior modifications, window replacement, rear accessory demo, construction of a new accessory structure

COMMENTS/CONCERNS:

All: Overview of request and general introductions.

JC: Questions about the proposed 2-story accessory structure.

MS: Concerns regarding the removal of the side inset on the east elevation.

JC: Any replacement window would need to match the original in profile.

JF: Concerned about the infilling of the recessed location. When changing to a single slope, the character of the clipped gables would be lost. Can both clipped gables be retained?

MS: Maintain existing siding in areas of modification.

All: Inspection and discussion on windows.

JF: Dimensions if sashes and styles are important if windows require replacement.

JC: Windows appear to be intact.

JF: Windows in the addition could be wood or aluminum clad.

JF: Most of the windows are in good shape. Repair, weight repair, paint stripping. Windows should be repaired in the original house.

JF: Can existing windows be used in locations of additions?

MS: Questions about window relocation and measurements.

All: Discussion in window relocation.

Discussion regarding accessory structure.

JF: The accessory structure should be subordinate to the main house. Review ceiling heights - 10' on both first and second floor is unusual. Bottom 8' plate height, 8' top. Total of four feet in reduction.

MS: Can setbacks be increased?

MS: Can part be 1-story and part be 1.5 story?

KZ: Accessory story footprint is less than 800 sq ft; will be 40% of the primary structures footprint.

JC: The accessory gives the appearance that there are two separate primary structures.

JF: Present house on May 18. Bring accessory back at a later date.

MS: Questions about new setback of new rear accessory.

OVERALL COMMENTS:



CITY OF SAN ANTONIO
**OFFICE OF HISTORIC
PRESERVATION**

Historic and Design Review Commission
Design Review Committee Report

DATE: May 24, 2022

HDRC Case #: 2022-239

Address: 702 Hays

Meeting Location: Webex

APPLICANT: Kuba Zarobkiewicz

DRC Members present: Jeff Fetzer, Jimmy Cervantes, Monica Savino, Lisa Garza
(Conservation Society)

Staff Present: Edward Hall

Others present: Antonio Martel

**REQUEST: Demolition of a rear accessory structure and construction of a two-story
accessory structure**

COMMENTS/CONCERNS:

AM: Overview of revisions to the design and construction documents

KZ: Comments on revised design

LG: Finds revisions to be an improvement (removal of space above garage, removal of bay window). Questions about footprint. Questions regarding requirement for a variance for the setback.

MS: Concerns over the size of the rear accessory structure; massing, height and footprint in relationship to the primary structure.

JC: Agrees with comments from MS. Structure overpowers the primary structure. Height, fenestration pattern, etc. seem to be greater than those of the primary structure.

MS: Recommends a reduction in size/scale.

JF: Agrees with the recommendation for a reduced size/scale. Consider modifications to roof forms; hipped roofs instead of clipped gables to reduce the appearance and perceived massing of the rear structure.

MS: Recommends removal of the garage. Consider a 1.5 story structure with gable dormers (north and west).

JF: Consider a low sloped shed roof on the garage; would reduce the scale.

JF: Explore an overall decrease and scale in the massing.

JG: The front needs to appear less massive. The removal of the balcony (at bedrooms) would potentially reduce massing and give an appearance of an increased setback.

MS: Address slider windows; windows should be consistent with style of the primary structure. Fenestration should be addressed in its entirety.

JF: Show accessory structure in relationship to structures on neighboring property on site plan.

OVERALL COMMENTS:



CITY OF SAN ANTONIO
**OFFICE OF HISTORIC
PRESERVATION**

Historic and Design Review Commission
Design Review Committee Report

DATE: June 7, 2022

HDRC Case #:

Address: 702 Hays

Meeting Location: Webex

APPLICANT: Kuba Zarobkiewicz

DRC Members present: Monica Savino, Roland Mazuca, Jimmy Cervantes, Gene Morales, Lisa Garza (Conservation Society),

Staff Present: Edward Hall

Others present:

REQUEST: Demolition of a rear accessory structure and construction of a 2-story accessory structure

COMMENTS/CONCERNS:

KZ: Overview of new construction; updates on setbacks, updates on design, massing, etc.

LG: Believes the revisions are appropriate and that the structure is consistent with the Guidelines.

LG: The roof form appears much more elegant and fitting within the district.

MS: In agreement with LG. Setback is appropriate; structure has been designed to be consistent with the Guidelines.

JC: Finds the proposed new construction to be appropriate.

MS: Elevations in context would be helpful (main house and neighbor's).

MS: Consider removing slim rectangular window.

OVERALL COMMENTS:



LINE OF SIGHT
KUBA & KIMBERLY ZAROBKIEWICZ
702 HAYES STREET, SAN ANTONIO, TEXAS

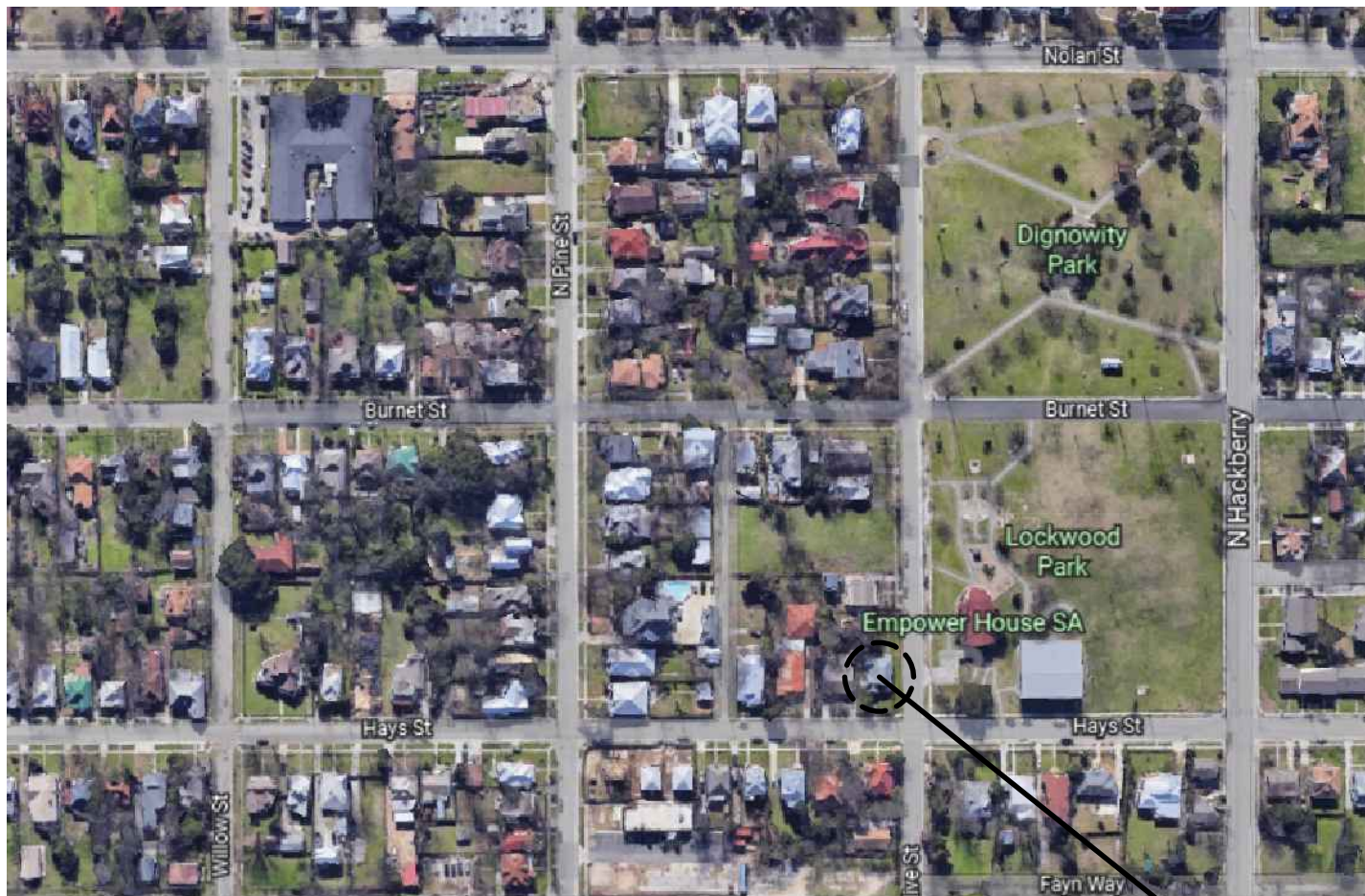


LINE OF SIGHT
KUBA & KIMBERLY ZAROBKIEWICZ
702 HAYES STREET, SAN ANTONIO, TEXAS





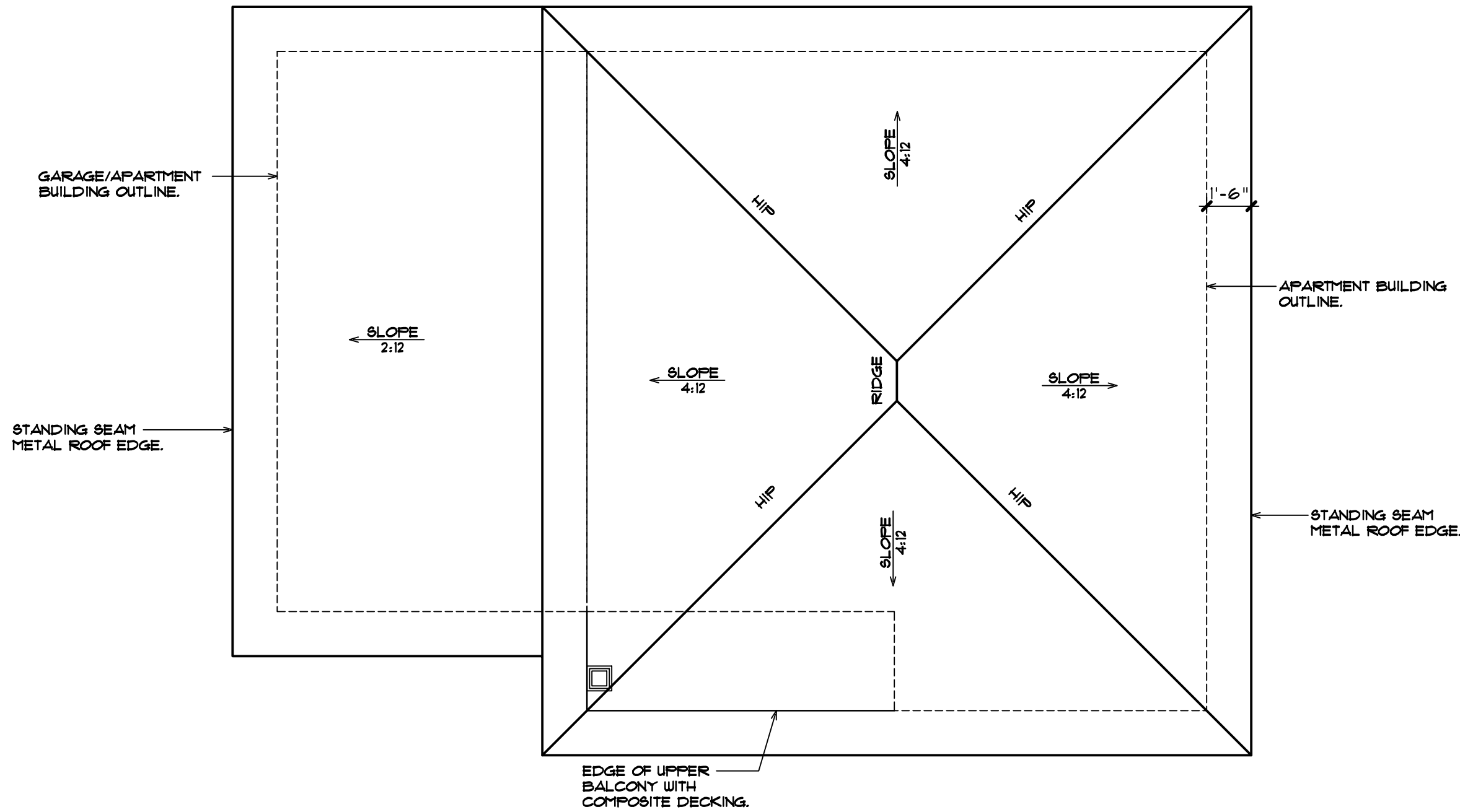
NEW RESIDENCE ADDITION AND GARAGE APARTMENT FOR
KUBA & KIMBERLY ZAROBKIEWICZ
702 HAYS ST.
SAN ANTONIO, TEXAS 78202



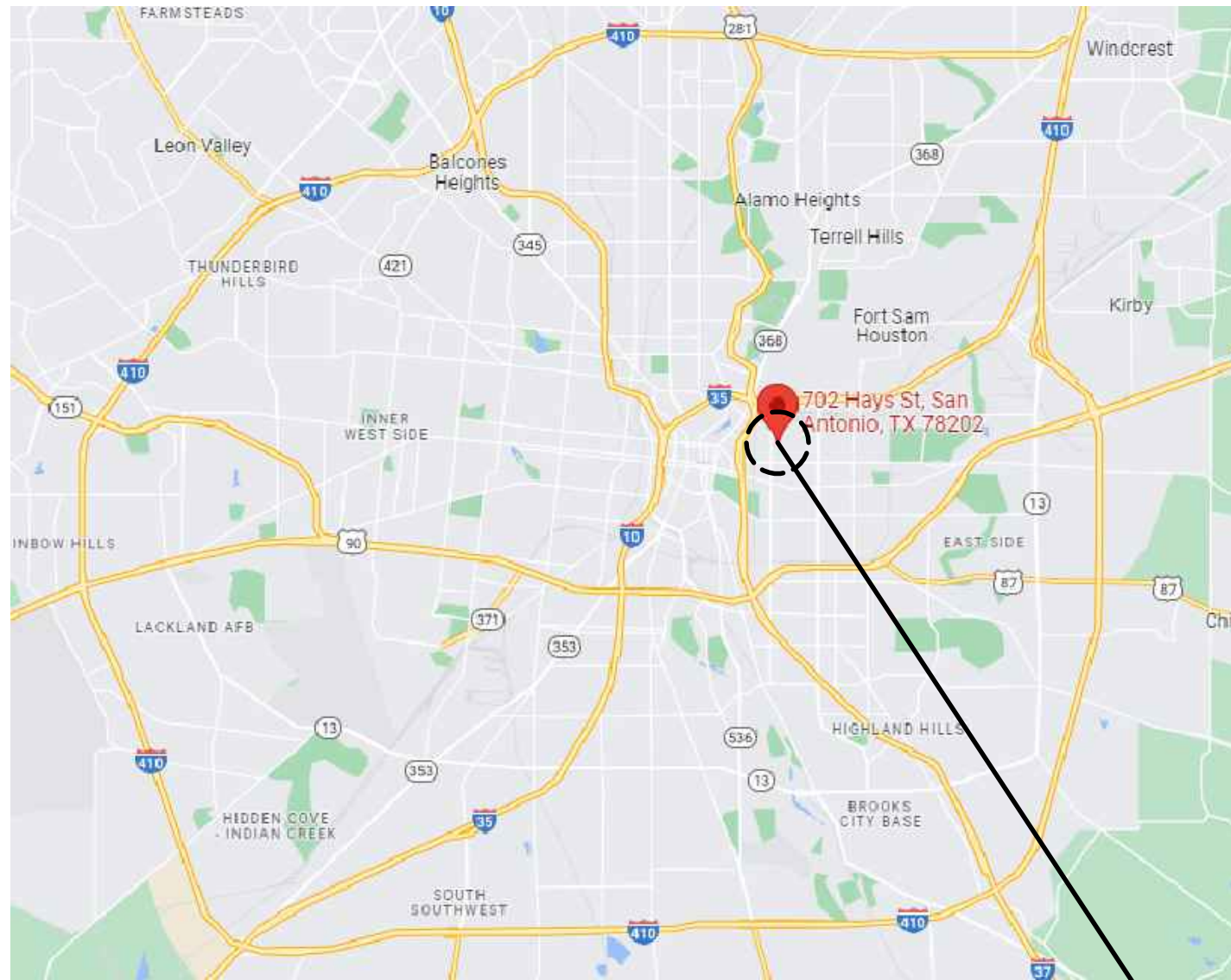
2 AERIAL MAP
SCALE: N.T.S.



PROJECT LOCATION



1 GARAGE/APARTMENT ROOF PLAN
SCALE: 1/4" = 1'-0"



3 AERIAL MAP
SCALE: N.T.S.

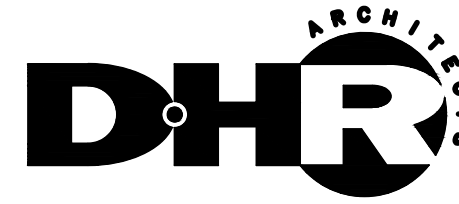


PROJECT LOCATION

SYMBOLS

KEY	DESCRIPTION
ROOM 103	ROOM NAME AND NUMBER
▲ A1.1	ELEVATION KEY
← 55	KEYS
— A1.1	SECTION KEY
SBO	SELECTED BY OWNER
	TRUE NORTH ARROW

ARCHITECT



DURAND—HOLLIS RUPE ARCHITECTS, INC.
14603 HUEBNER RD.
BUILDING 18
SAN ANTONIO, TEXAS 78230
PHN: 210.308.0080
FAX: 210.697.3309
eMAIL: office@dhrarchitects.com
WEB: www.dhrarchitects.com

STRUCTURAL ENGINEER



HOFFER STRUCTURAL SOLUTIONS
845 PROTON RD.
SAN ANTONIO, TX 78258
TEL: 210 646-1665
eMAIL: mhoffer@hofferss.com
WEB: www.hofferss.com

GENERAL PLAN NOTES

- DEMOLISH EXISTING TREES, IF NECESSARY, TO MAKE ROOM FOR SLAB WORK. CLEAN & DISINFECT SLAB FOR TERMITES AND OTHER INSECTS PRIOR TO APPLYING THE NEW FLOOR FINISH.
- ALL FINISH GRADES SHALL BE DONE IN A MANNER TO PROVIDE POSITIVE SLOPE AWAY FROM THE BUILDING. IN NO CASE SHALL THE SLOPE BE TOWARD THE BUILDING.
- CONTRACTOR TO CLEAN SITE OF ALL DEBRIS, PLACE TOPSOIL THROUGHOUT AND INSTALL SOD AS NEEDED. BREAKDOWN LANDSCAPE BID FOR REVIEW AS AN ALTERNATE.
- CONTRACTOR WILL TAKE ALL PRECAUTIONS NOT TO DAMAGE ANY TREES NOT IN THE CONSTRUCTION "ZONE". SHOULD DAMAGE OCCUR, TREES WILL BE REQUIRED TO BE REPLACED IN SIZE AND SPECIES.
- DO NOT ALTER ANY CONTOURS TO ADJACENT PROPERTY.

DRAWING LIST

ARCHITECTURAL DRAWINGS

- A000 COVER, ROOF AND AERIAL MAPS— MAIN HOUSE
- A001 COVER, ROOF AND AERIAL MAPS— GARAGE APT.
- A099 SITE PLAN
- A100 FLOOR PLAN— MAIN HOUSE
- A101 FLOOR PLAN— GARAGE APARTMENT
- A180 ELECTRICAL PLAN— MAIN HOUSE
- A181 ELECTRICAL PLAN— GARAGE APARTMENT
- A200 EXTERIOR ELEVATIONS— MAIN HOUSE
- A201 EXTERIOR ELEVATIONS— GARAGE APARTMENT
- A300 TYPICAL WALL SECTIONS
- A301 TYPICAL WALL SECTIONS
- A400 DOOR AND WINDOW SCHEDULES
- A501 INTERIOR ELEVATIONS
- A600 STAIR DETAILS
- A601 TYPICAL DECK & RAILING DETAILS

STRUCTURAL DRAWINGS

- S100 STRUCTURAL GENERAL NOTES
- S200 FOUNDATION PLAN
- S201 SECOND FLOOR FRAMING PLAN
- S202 ROOF FRAMING PLAN
- S300 CONCRETE NOTES & DETAILS
- S301 STAIR & RAILING DETAILS
- S400 WOOD FRAMING NOTES & DETAILS
- S401 WOOD FRAMING DETAILS

CODE INFORMATION

CODES: IRC—2018

OCCUPANCY CLASSIFICATION: R-1

CONSTRUCTION TYPE: TYPE V B

BUILDING USE: SINGLE FAMILY RESIDENTIAL

PROJECT SUMMARY: ADD 753 SQFT ADDITION TO THE MAIN HOUSE, BUILD A NEW 1,023 SQFT 2-STORY, 1-BEDROOM, 1-GARAGE, 1-BATH GARAGE APARTMENT STRUCTURE.

PROJECT INFORMATION

LEGAL DESCRIPTION: NCB 540, BLOCK II, LOT A-16, DIGNOWITY HILL HISTORICAL DISTRICT, 0.1722 ACRES, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 642, PAGE 331 IN THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

ORIGINAL HOUSE SQ FT: 1,363 SQ FT

BEDROOM ADDITION SQ FT: 681 SQ FT.

GARAGE APARTMENT SQ FT: 852 SQ FT.

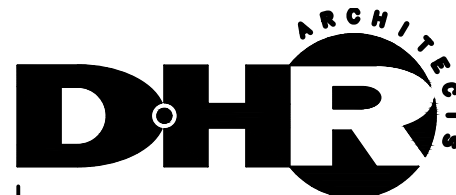
(FOOTPRINT SQ FT. 624 SQFT)

TOTAL LIVABLE SQ FT: 2,902 SQ FT.

GENERAL PROJECT NOTES

- THIS BUILDERS SET (PART OF THE CONTRACT DOCUMENTS) IS PRESENTED TO INCLUDE DRAWINGS OF 24" x 36" SHEETS.
- ELECTRICAL, WATER, AND PLUMBING LINES SHALL BE RUN CONCEALED AND FRAMING SHALL BE OF ADEQUATE DIMENSION TO ACCOMPLISH THIS RESULT WITHOUT CHANGES IN THE WALL PLANE OR CEILING PLANE.
- WHEN REFERENCE IS MADE TO A MATERIAL SYSTEM, ALL PARTS AND MATERIALS PERTINENT TO THE MANUFACTURER'S SYSTEM SPECIFIED SHALL BE FURNISHED AND INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL INFORMATION ON EXISTING CONDITIONS WAS SUPPLIED TO THE DESIGNER BY THE OWNER. CONTRACTOR IS REQUESTED TO VERIFY, ON-SITE, ALL DIMENSIONS & CONDITIONS BEFORE STARTING CONSTRUCTION. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE DESIGNER. CONTRACTOR SHALL FAMILIARIZE HIM (HER) SELF WITH EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
- FINISHES & FIXTURES TO BE SELECTED BY OWNER.
- REPAIR ANY DAMAGED AREAS PRIOR TO APPLYING FINISHES.
- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. ALL CONTRACT DOCUMENTS — ARCHITECTURAL AND ENGINEERING — ARE TO BE USED TOGETHER. GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE TO REVIEW COMPLETE SETS OF DOCUMENTS AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO THE START OF CONSTRUCTION.
- FOR ANY ITEM IDENTIFIED IN THE CONTRACT DOCUMENTS THAT IS REASONABLY INFERRABLE AS A COMPONENT IN A SYSTEM AND REQUIRED FOR THE PERFORMANCE OF THAT SYSTEM, THE GENERAL CONTRACTOR SHALL INCLUDE ALL OTHER COMPONENTS IN THE WORK WHICH ARE NECESSARY FOR THE COMPLETION AND FULL OPERATIONAL PERFORMANCE OF THAT SYSTEM.
- THE CONTRACT DOCUMENTS INDICATE THE GENERAL DESIGN INTENT, BUT DO NOT NECESSARILY DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION. THE CONTRACTOR SHALL PROVIDE ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE GENERAL CONTRACTOR SHALL VERIFY IN THE FIELD AND COORDINATE BETWEEN THE TRADES. ALL CONDITIONS BOTH NEW AND EXISTING WHICH AFFECT WORK TO BE DONE OR RELEVANT THERETO, INCLUDING, BUT NOT LIMITED TO, PROPERTY LINE DIMENSIONS, SETBACKS, EASEMENTS, RESTRICTIONS, EXACT LOCATIONS OF ALL CONSTRUCTION, EXISTING AND NEW, EXISTENCE AND LOCATIONS OF ASBESTOS OR OTHER UNKNOWN TOXIC MATERIAL, DRIVEWAYS, WALKS, APRONS, UTILITIES, GRADES, AND DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR THE DISCOVERY OF ASBESTOS AND OTHER REGULATED TOXIC MATERIALS AND SHALL BEAR ADMINISTRATIVE RESPONSIBILITY FOR CONFORMANCE TO FEDERAL, STATE, AND LOCAL JURISDICTIONAL REQUIREMENTS REGARDING THE DISPOSITION OF HAZARDOUS MATERIALS. SHOULD ANY QUESTIONS ARISE OR DISCREPANCIES ON THE DRAWINGS BE NOTED PRIOR TO BEGINNING CONSTRUCTION OR DURING ANY PHASE OF CONSTRUCTION, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT FOR REVIEW AND CLARIFICATION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK OR ANY PART RELATED THERETO.
- CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR ALL FEES AND PERMITS REQUIRED AND ASSOCIATED WITH ALL PHASES OF THE WORK AND WITHIN SCOPE OF THE CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO: BUILDING PERMIT FEES, MEP FEES, WATER FEES, SEWER FEES, DRIVEWAY FEES, AND SIDEWALK FEES. THE LOCATION OF UTILITIES SHOWN ON THE SITE PLANS ARE BASED ON THE INFORMATION AVAILABLE. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES BEFORE STARTING CONSTRUCTION.

- ALL BATT INSULATION TO BE FORMALDEHYDE-FREE.
- DESIGN AND CONSTRUCTION PROCESSES TO COMPLY WITH LOCAL HOA, AND LOCAL AND STATE RESIDENTIAL BUILDING CODE REQUIREMENTS.
- ALL WOOD FRAMING TO BE TREATED.
- CONTRACTOR SHALL REPORT IMMEDIATELY, TO THE ARCHITECT, (IN WRITING) ANY EXISTING CONDITIONS (EG: ROT, TERMITES, ETC.) THAT MAY AFFECT PERFORMANCE OF THE EXISTING AND NEW STRUCTURES.
- ALL NEW GYPSUM WALL BOARD SHALL BE TAPED, FLOATED, TEXTURED, AND PAINTED (COLOR SELECTED BY OWNER).

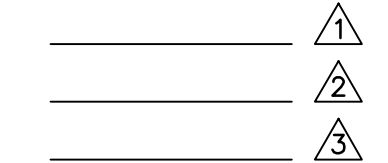


DURAND—HOLLIS RUPE ARCHITECTS, INC.

14603 HUEBNER RD.
BUILDING 18
SAN ANTONIO, TEXAS 78230

TEL: 210 308-0080
FAX: 210 697-3309
eMAIL: OFFICE@DHRARCHITECTS.COM

REVISED ISSUE DATES:



NEW RESIDENCE ADDITION & STUDIO UNIT FOR
KUBA & KIMBERLY ZAROBKIEWICZ
702 HAYS ST.
SAN ANTONIO, TEXAS 78202

COVER SHEET
GARAGE APARTMENT

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PROJECT NO. 22-012
ISSUE DATE: 06-08-22
DRAWN BY: AM
REVIEWED BY: GDH
PROJECT ARCHITECT:
GABRIEL DURAND—HOLLIS, F.A.A.
TEXAS LICENSE NO. 10881

A001

1 SITE PLAN
SCALE: 3/32" = 1'-0"



BUYER: KUBA ZAROBKIEWICZ
TITLE COMPANY: CHICAGO TITLE
LOT: A-16
SUBDIVISION: ~
CITY: SAN ANTONIO
PLAT RECORDED IN: VOLUME 642 PAGE 331

ADDRESS: 702 HAYS
G.F. NO.: SCT-63-4300292103089
BLOCK: 11
N.C.B.: 540
COUNTY: BEXAR
STATE: TEXAS
DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS

NOTE: DUE TO LACK OF ORIGINAL MONUMENTATION,
SURVEY IS DRAWN PER FIELD CONDITIONS. FIELD AND
ROADWAY EVIDENCE UTILIZED FOR BEARING ORIENTATION.

HAYS
(USPS: HAYS ST.)
(50' R.O.W., ASPHALT PAVEMENT)
(PLATTED AS: HAYS ST.)

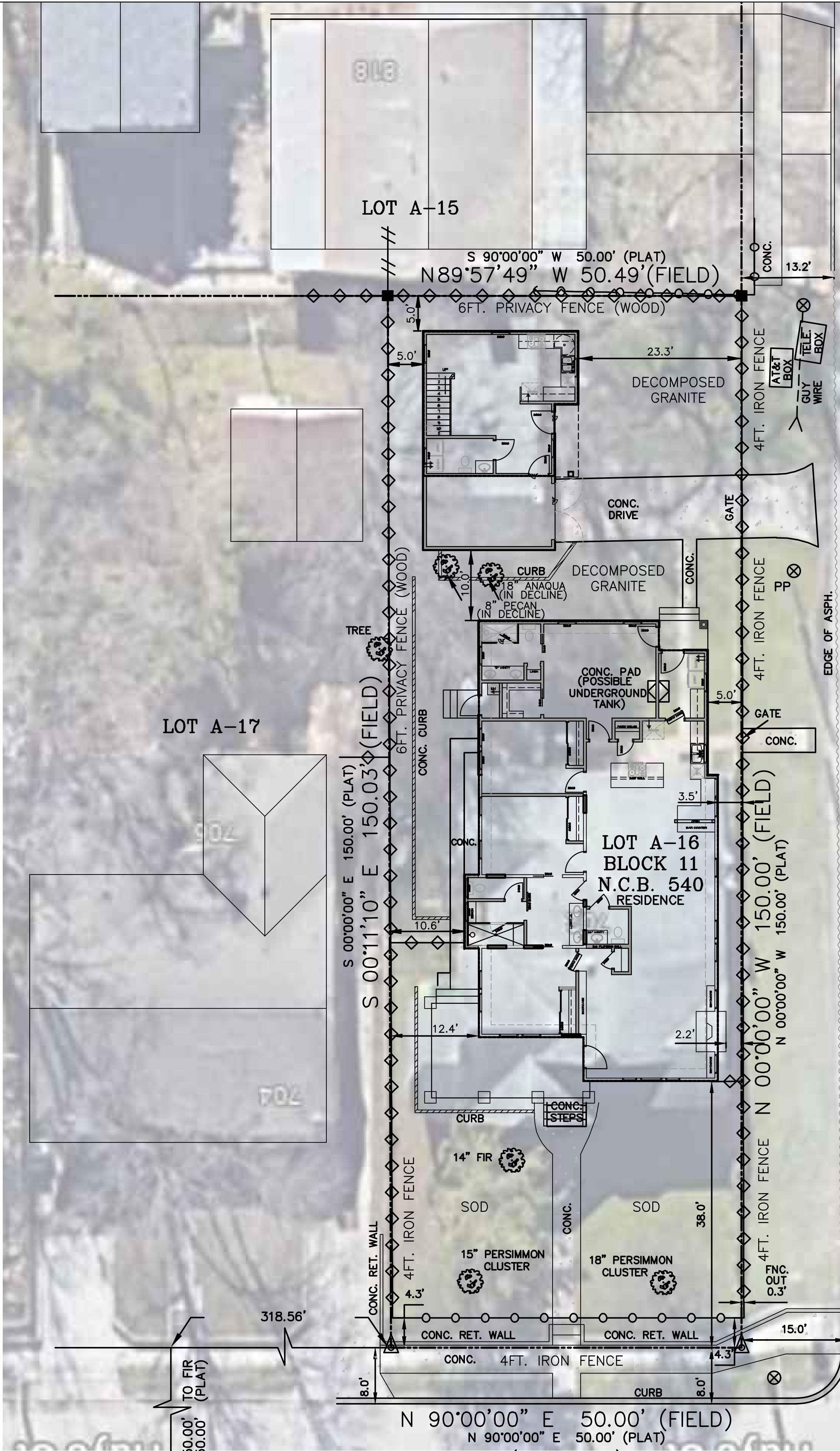
NOTE: THE BEARINGS ARE AS PROTRACTED
PER PLAT, NORTH ARROW REFERENCED.
FIELD CONDITIONS ARE AS SHOWN.

THE SURVEY IS HEREBY ACCEPTED WITH THE DISCREPANCIES,
CONFLICTS, OR SHORTAGES IN AREA OR BOUNDARY LINES,
ENCROACHMENTS, PROTRUSIONS, OR OVERLAPPING OF
IMPROVEMENTS SHOWN.

LEGEND:

-- = WOOD FENCE
◇ = CHAIN LINK FENCE
X = BARBED WIRE FENCE
○ = WROUGHT IRON FENCE
□ = SMOOTH WIRE FENCE
■ = FOUND FENCE POST

⊗ = POWER POLE
⊕ = FIRE HYDRANT
○ = FND. 1/2" IRON ROD
● = SET 1/2" IRON ROD
X = SET "X" ON CONC.
△ = CALCULATED CORNER



TREE COUNT

2- PECAN (IN DECLINE)
2- PERSIMMON CLUSTERS
1- ANAQUA (IN DECLINE)
1- FIR TREE
6- TOTAL

GENERAL NOTES

1. REMOVE EXISTING BRUSH, AS NECESSARY, TO MAKE ROOM FOR CONCRETE WORK.
2. CONTRACTOR TO CLEAN SITE OF ALL DEBRIS, PLACE TOPSOIL THROUGHOUT AND INSTALL SOD AS NEEDED.
3. CONTRACTOR WILL TAKE ALL PRECAUTIONS NOT TO DAMAGE ANY TREES NOT IN THE CONSTRUCTION "ZONE". SHOULD DAMAGE OCCUR, TREES WILL BE REQUIRED TO BE REPLACED IN SIZE AND SPECIES.
4. DO NOT ALTER ANY CONTOURS TO ADJACENT PROPERTY.



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ARCHITECTS, INC.

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TEXAS 78230

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SITE PLAN

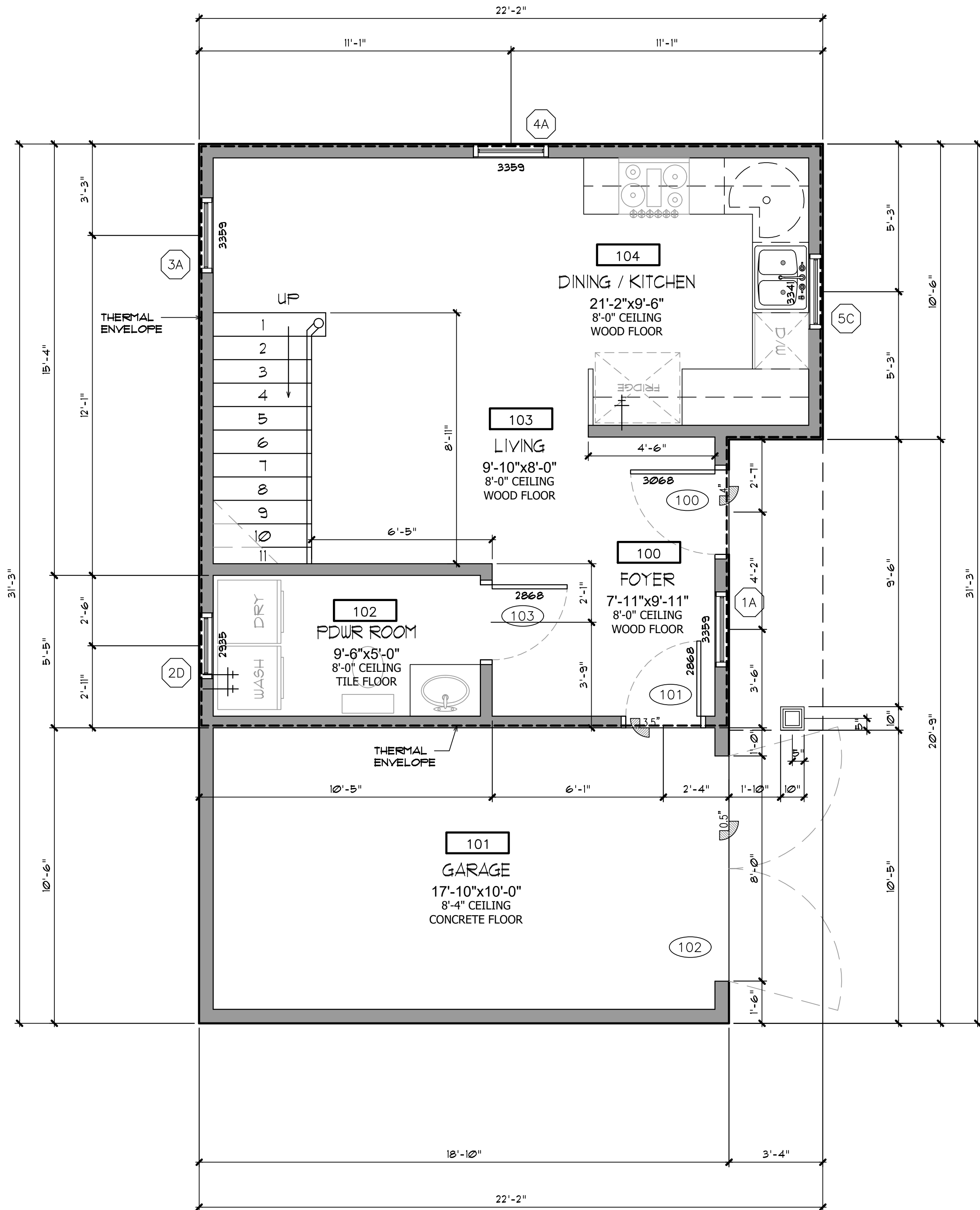
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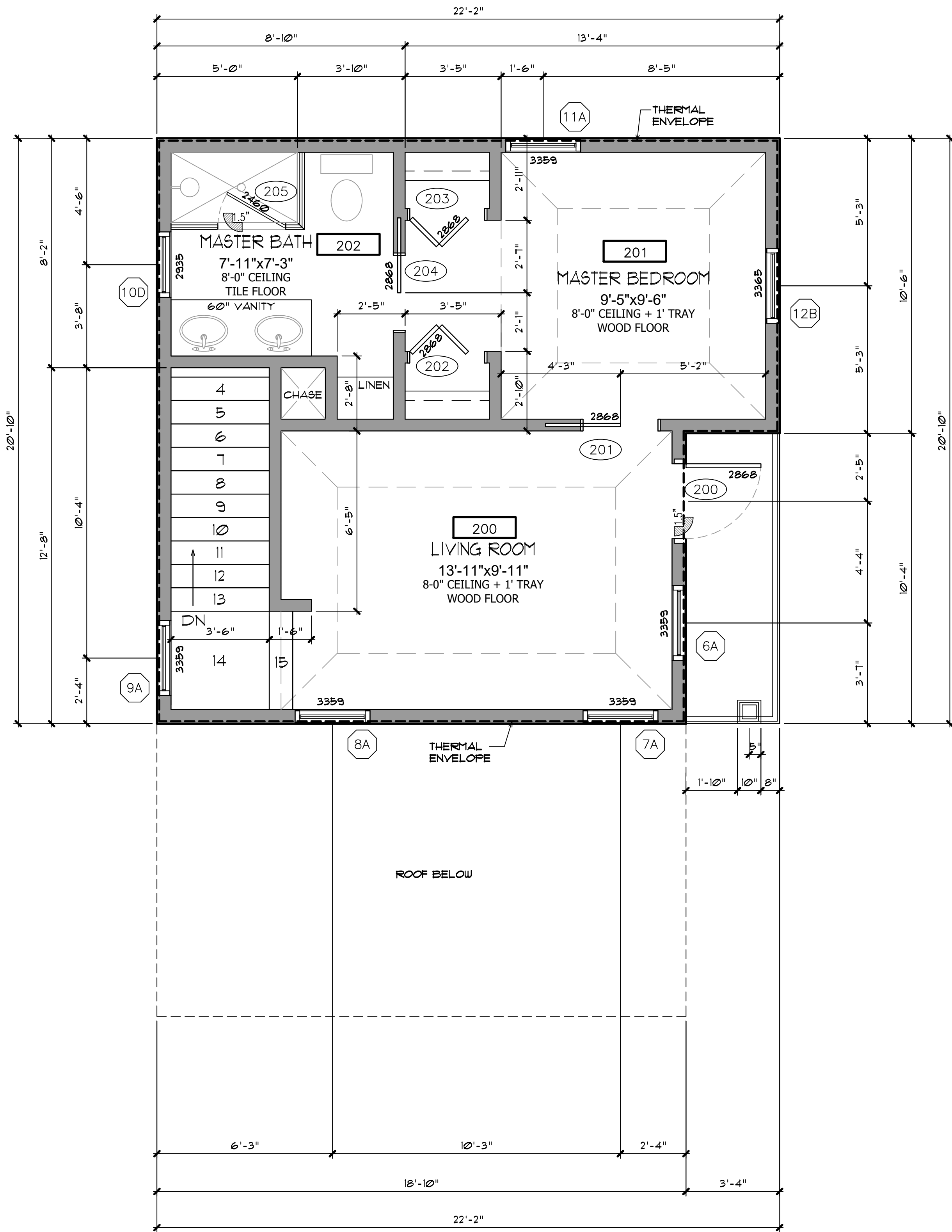
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TEXAS LICENSE NO. 10881

A099



1 FIRST LEVEL FLOOR PLAN
SCALE: 3/8" = 1'-0"



2 SECOND LEVEL FLOOR PLAN
SCALE: 3/8" = 1'-0"



GENERAL NOTES

1. CONTRACTOR TO PROVIDE WOOD BLOCKING FOR ALL ANCHORING PURPOSES.
2. DIMENSIONS ON FLOOR PLAN ARE TO FINISHED WALLS.
3. DIMENSIONS ON ENLARGED FLOOR PLANS ARE TO FINISHED WALL.

WALL LEGEND

- INTERIOR WALLS
- EXTERIOR WALLS

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EMAIL OFFICE@DHRARCHITECTS.COM

REVISED ISSUE DATES:

- 1
- 2
- 3

NEW RESIDENCE ADDITION & STUDIO UNIT FOR
KUBA & KIMBERLY ZAROBKIEWICZ
702 HAYS ST.
SAN ANTONIO, TEXAS 78202

FLOOR PLAN GARAGE APARTMENT

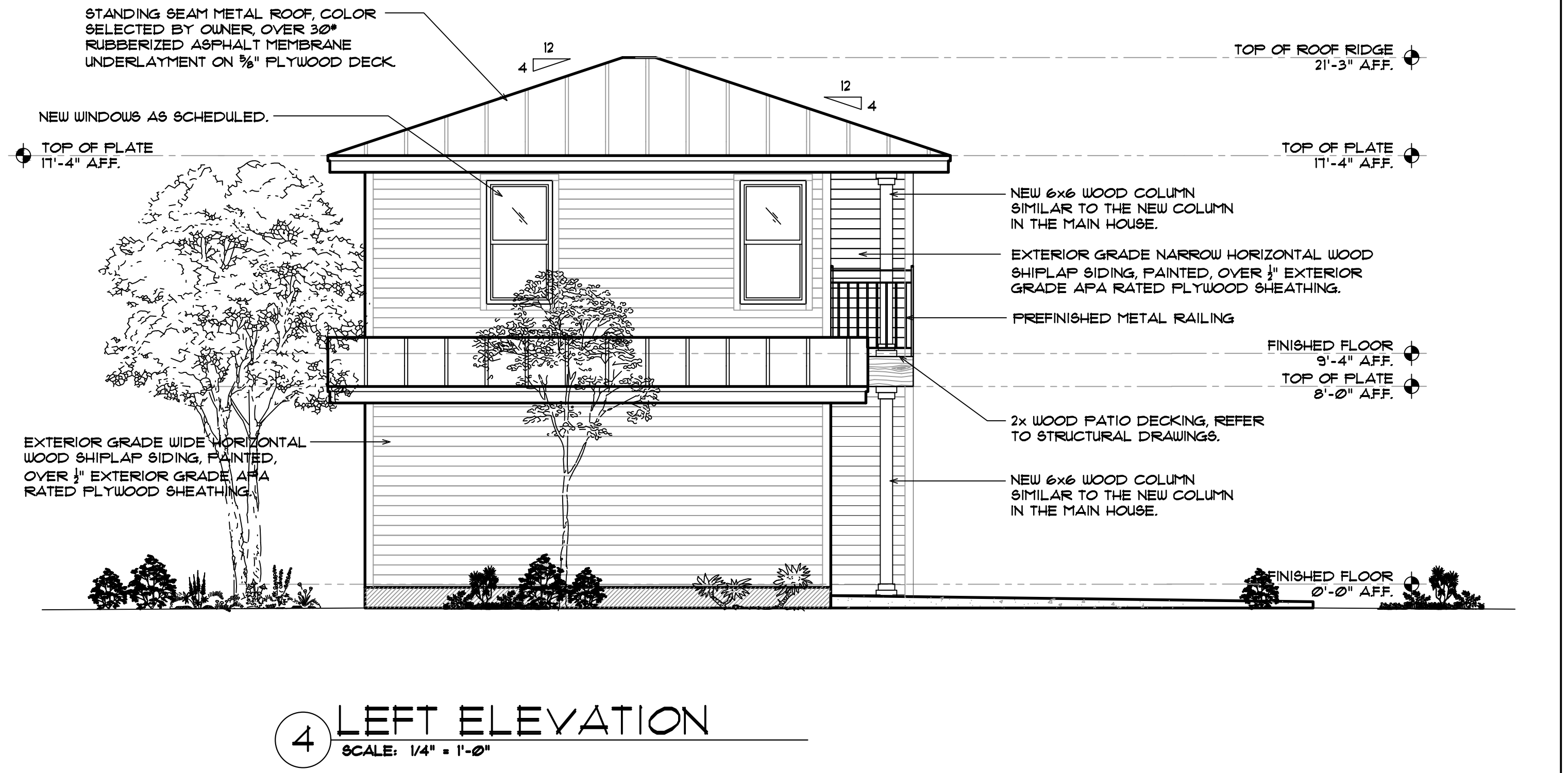
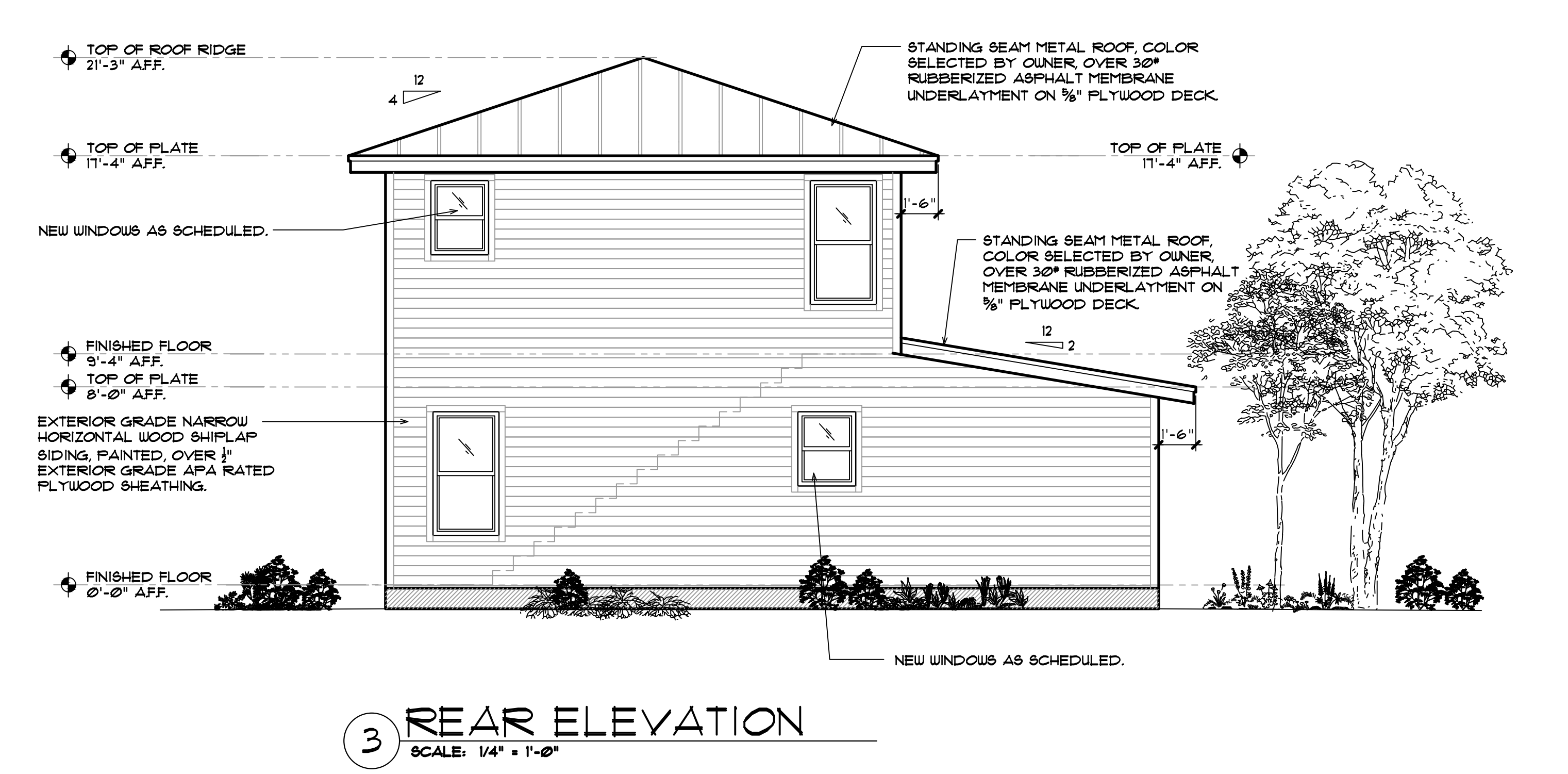
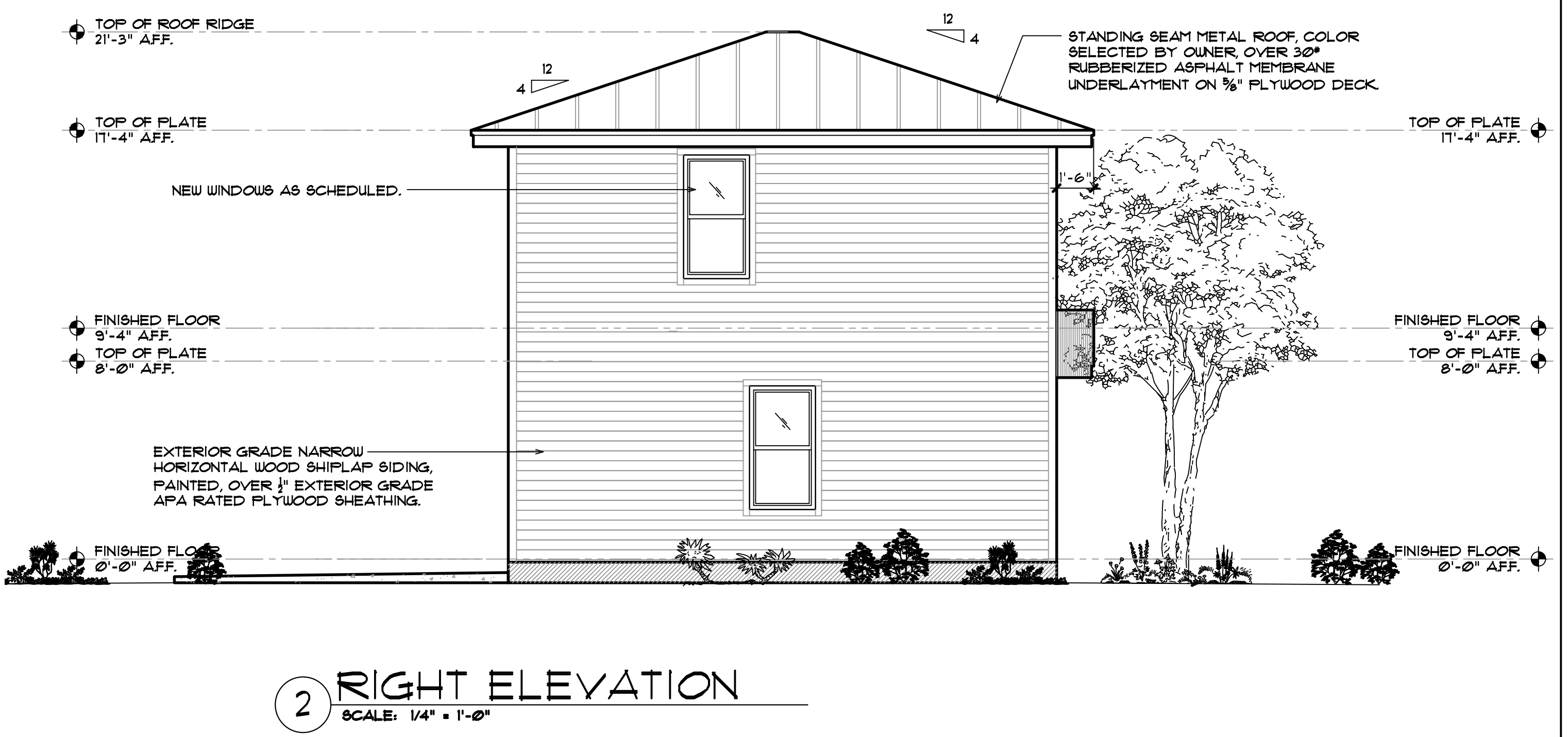
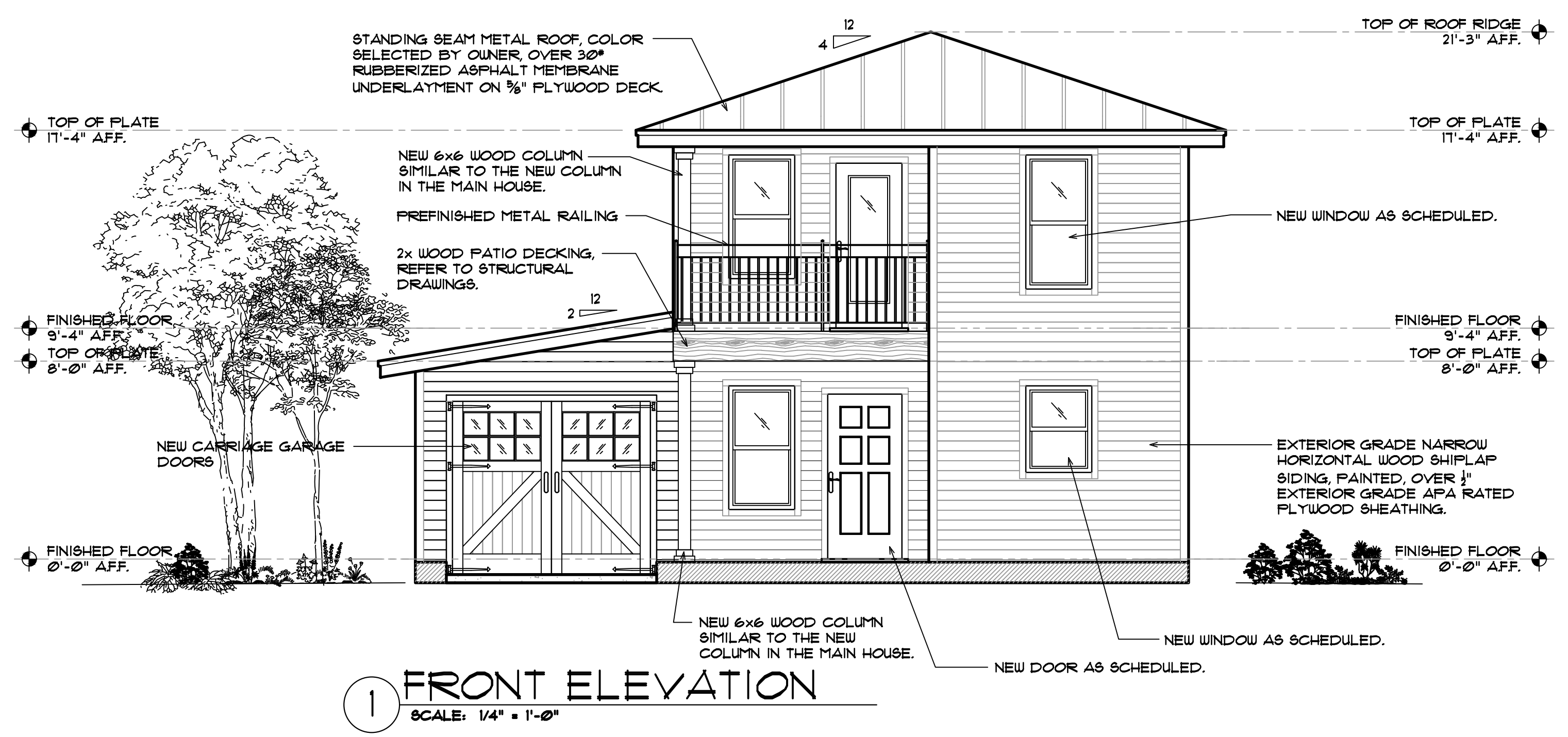
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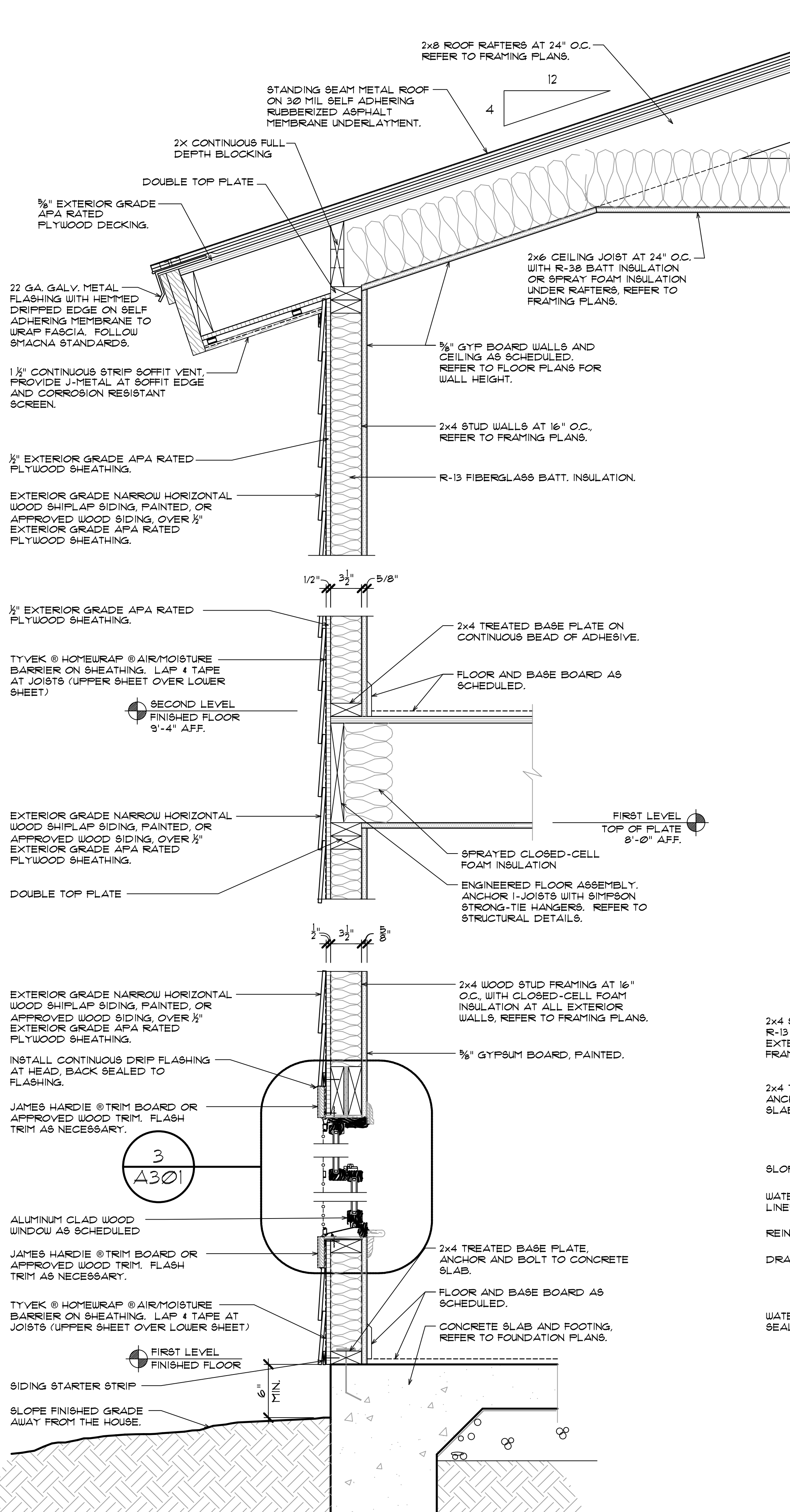
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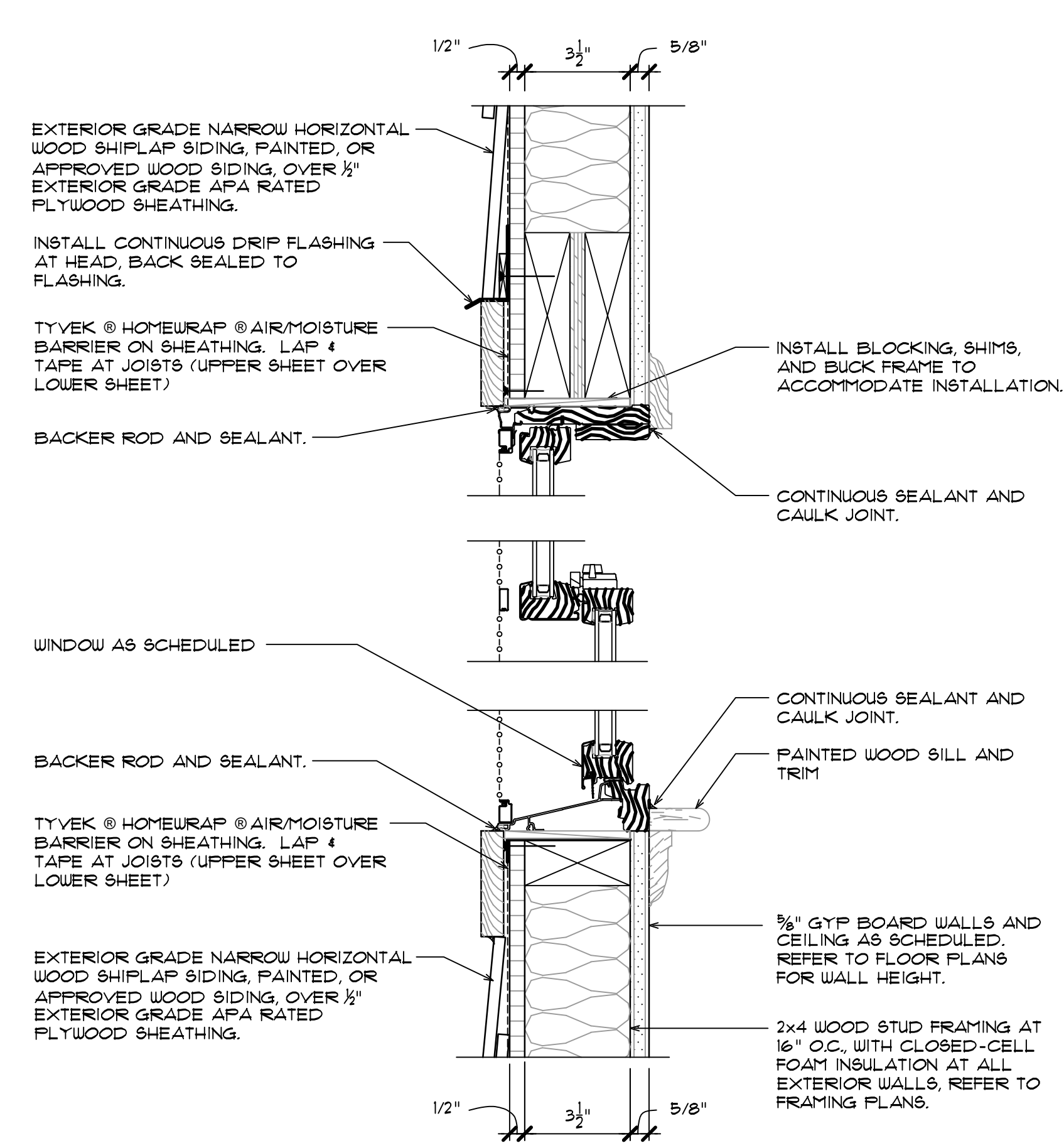
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A101

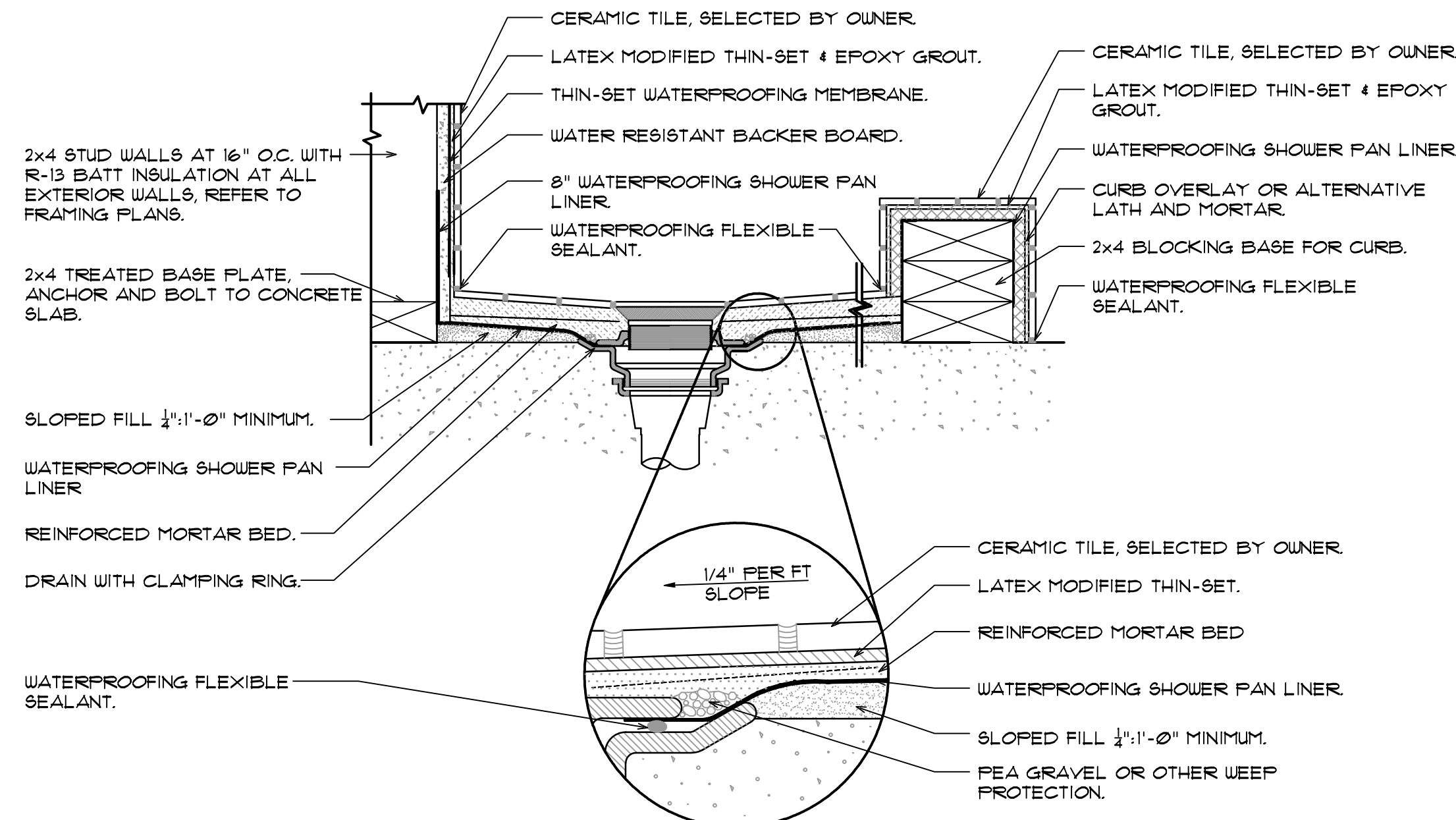




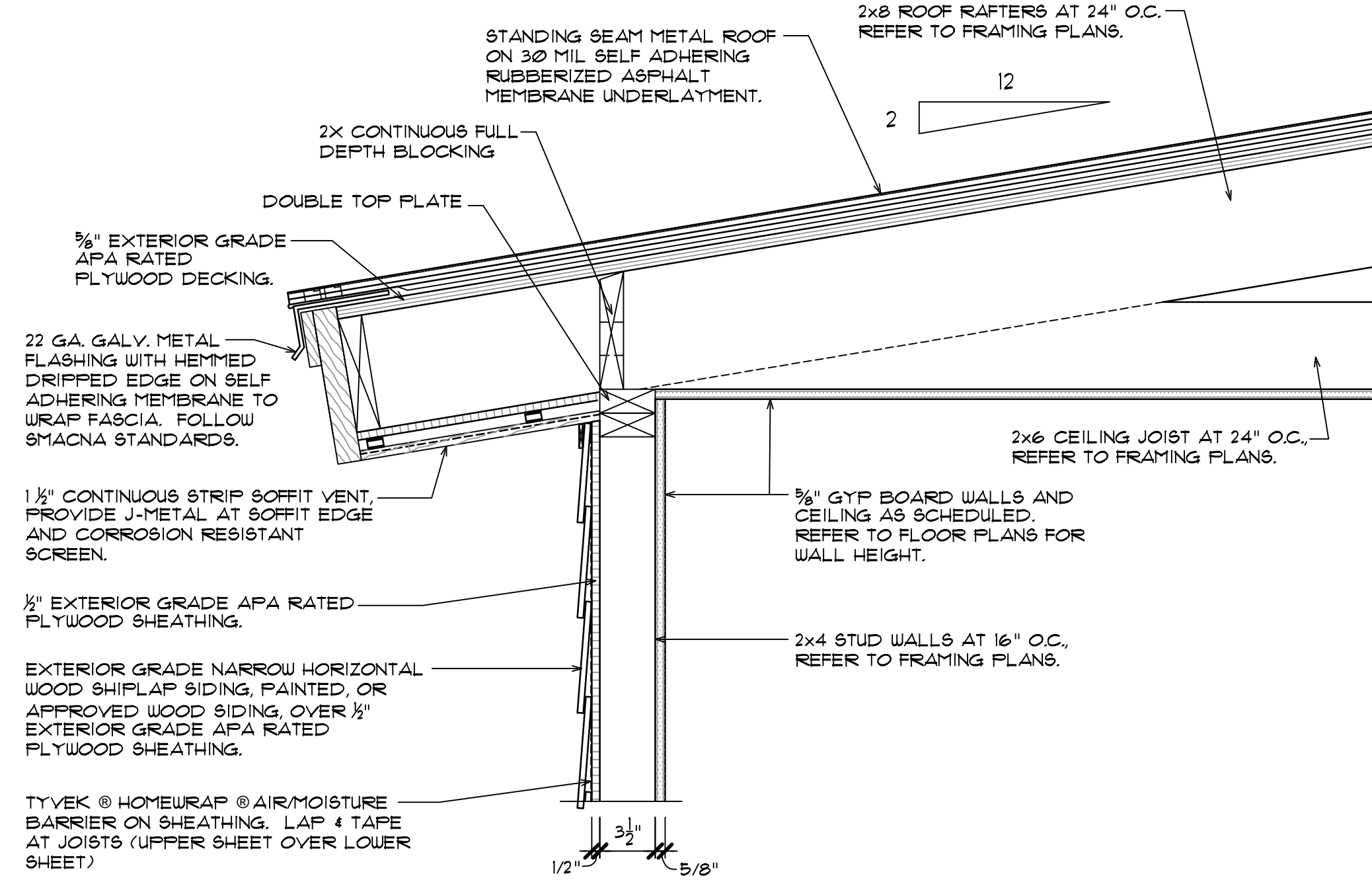
1 TYPICAL WALL SECTION
SCALE: 1 1/2" = 1'-0" AT APARTMENT



3 TYPICAL WINDOW SECTION
SCALE: 3" = 1'-0"



2 TYPICAL SHOWER SECTION
SCALE: 3" = 1'-0"



4 TYPICAL WALL SECTION
SCALE: 1 1/2" = 1'-0" AT GARAGE

AIR BARRIER AND INSULATION INSTALLATION		
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General Requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling / Attic	The air barrier in any dropped ceiling / soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling / soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, Skylights and Doors	The space between window / door jambs and framing, and skylights and framing shall be sealed.	
Rim Joists	Rim joists shall include the air barrier.	Rim joists shall be installed.
Floors (including above garage and Cantilevered Floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing and extends from the bottom of the top of all perimeter floor framing members.
Crawl Space Walls	Exposed Earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joists taped.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawlspace walls.
Shafts, Penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	
Narrow Cavities		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage Separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed Lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and Wiring		Batt insulation shall be cut neatly too fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower / Tub on Exterior Wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical / Phone box on Exterior Walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.	
HVAC Register Boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Concealed Sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	

DOOR NO.	DOOR NO. DESCRIPTION	SIZE			DESCRIPTION	EXTERIOR (E) OR INTERIOR (I)	MATERIAL		REMARKS
		WIDTH	HEIGHT	THICKNESS			DOOR	FRAME	
100	1	3'-0"	6'-8"	1 3/4"	SOLID CORE WOOD DOOR	E	WD	WD	
101	2	2'-8"	6'-8"	1 3/4"	SMOOTH FLAT SLAB SOLID CORE WOOD DOOR	E	WD	WD	
102	3	8'-0"	1'-0"	1 3/4"	METAL CARRIAGE GARAGE DOORS	E	MTL	MTL	OUTSWING, WITH DIVIDED-LITE GLAZING.
103	3	2'-8"	6'-8"	1 3/4"	SMOOTH FLAT SLAB SOLID CORE WOOD DOOR	I	WD	WD	
SECOND LEVEL									
200	2	2'-8"	6'-8"	1 3/4"	SOLID CORE WOOD FULL-LITE DOOR	E	GLASS	WD	GLAZING SELECTED BY OWNER
201	5	2'-8"	6'-8"	1 3/4"	WOOD POCKET DOOR	I	WD	WD	
202	6	2'-8"	6'-8"	1 3/4"	SINGLE BI-FOLD WOOD DOOR	I	WD	WD	
203	6	2'-8"	6'-8"	1 3/4"	SINGLE BI-FOLD WOOD DOOR	I	WD	WD	
204	5	2'-8"	6'-8"	1 3/4"	WOOD POCKET DOOR	I	WD	WD	
205	1	2'-4"	6'-0"	3/8"	FRAMELESS GLASS SHOWER DOOR	I	GLASS	-	GLAZING SELECTED BY OWNER

1. ALL HARDWARE, DOOR STYLES & DOOR FINISHES TO BE SELECTED BY OWNER

WINDOW NO.	WINDOW TYPE	SIZE			DESCRIPTION	OBSERVED (O)	TEMPERED (T)	COLOR		REMARKS
		WIDTH	HEIGHT	SILL				INT.	EXT.	
1	A	2'-9"	4'-11"	2'-1"	WOOD DOUBLE HUNG		T	WH	BR	
2	D	2'-5"	2'-11"	4'-1"	WOOD DOUBLE HUNG			WH	BR	
3	A	2'-9"	4'-11"	2'-1"	WOOD DOUBLE HUNG		T	WH	BR	
4	A	2'-9"	4'-11"	2'-1"	WOOD DOUBLE HUNG			WH	BR	
5	C	2'-9"	3'-5"	3'-7"	WOOD DOUBLE HUNG			WH	BR	
6	A	2'-9"	4'-11"	2'-1"	WOOD DOUBLE HUNG		T	WH	BR	
7	A	2'-9"	4'-11"	2'-1"	WOOD DOUBLE HUNG			WH	BR	
8	A	2'-9"	4'-11"	2'-1"	WOOD DOUBLE HUNG		T	WH	BR	
9	A	2'-9"	4'-11"	3'-3"	WOOD DOUBLE HUNG		T	WH	BR	AT STAIR LANDING
10	D	2'-5"	2'-11"	4'-1"	WOOD DOUBLE HUNG			WH	BR	
11	A	2'-9"	4'-11"	2'-1"	WOOD DOUBLE HUNG			WH	BR	
12	B	2'-9"	5'-5"	1'-7"	WOOD DOUBLE HUNG			WH	BR	FOR EGRESS REQUIREMENTS

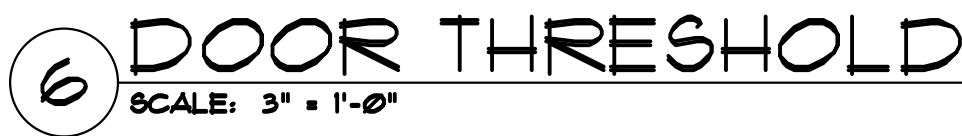
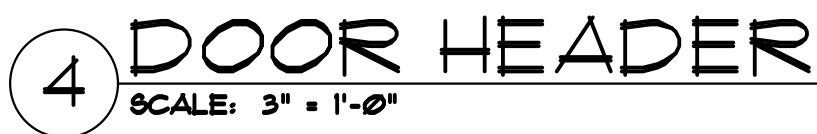
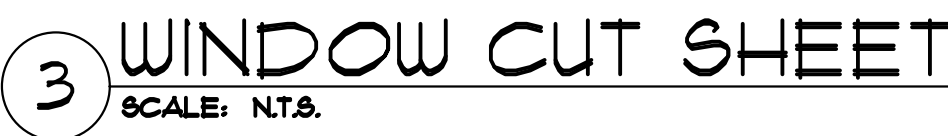
1. ALL GLAZING SHALL BE DOUBLE PANE, INSULATED, WITH LOW-E GLAZING.
2. WH = WHITE, BR = BROWN



- SPECIFIC PRODUCT SELECTIONS BY OWNER w/ CONTRACTOR

NO.	ROOM	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
100	FOYER	ENGINEERED HARDWOOD	4" PAINTED WOOD	GYP BOARD, PAINTED	8'-0" PAINTED GYP. BOARD		
101	GARAGE	CONCRETE	4" PAINTED WOOD	GYP BOARD, PAINTED	8'-4" PAINTED GYP. BOARD		
102	POUNDER ROOM	ENGINEERED HARDWOOD	4" COVE BASE TILE	TILE WALL / GYP BOARD, PTD.	8'-0" PAINTED GYP. BOARD		WALL TILE LAID WITH TILE ACCENT
103	LIVING AREA	ENGINEERED HARDWOOD	4" PAINTED WOOD	GYP BOARD, PAINTED	8'-0" PAINTED GYP. BOARD		
104	DINING / KITCHEN	ENGINEERED HARDWOOD	4" PAINTED WOOD	GYP BOARD, PAINTED	8'-0" PAINTED GYP. BOARD		WALL TILE BACK SPLASH
SECOND LEVEL							
200	LIVING ROOM	ENGINEERED HARDWOOD	4" PAINTED WOOD	GYP BOARD, PAINTED	8'-0" PAINTED GYP. BOARD + 1' TRAY CEILING		
201	MASTER BEDROOM	ENGINEERED HARDWOOD	4" PAINTED WOOD	GYP BOARD, PAINTED	8'-0" PAINTED GYP. BOARD + 1' TRAY CEILING		
202	MASTER BATH	ENGINEERED HARDWOOD	4" COVE BASE TILE	TILE WALL / GYP BOARD, PTD.	8'-0" PAINTED GYP. BOARD		WALL TILE LAID WITH TILE ACCENT

1. SEE INTERIOR ELEVATIONS FOR FURTHER INFORMATION ON SPECIFIC ROOMS.
2. ALL GYP BOARD TO BE 1/2" THICK UNLESS NOTED OTHERWISE AND TO A LEVEL 3 FINISH.
3. ALL GYP BOARD TEXTURE TO BE ORANGE PEEL.
4. GARAGE WALLS AND UNDER STAIRCASE CEILING TO BE 5/8" TYPE "X" FIRE-RATED GYP BOARD.
5. TEXTURE AND FINISH ALL WALLS ACCORDING TO ROOM FINISH SCHEDULE.
6. USE HARDI-BACKER BOARD ON TILED AND PLUMBING WALLS.
7. SEE ELECTRICAL PLAN FOR CEILING DESIGN AND DETAILS.





Pella® Lifestyle Series

Double- Hung



Air, Water, & Structural Performance

Performance Class & Grade Rating	Water Penetration Resistance	Air Infiltration ₁	Design Pressure	Forced Entry
LC30 - LC50	7.5 psf	0.11	30 - 50 psf	10

Thermal Performance

Vent Units (11/16" glass)

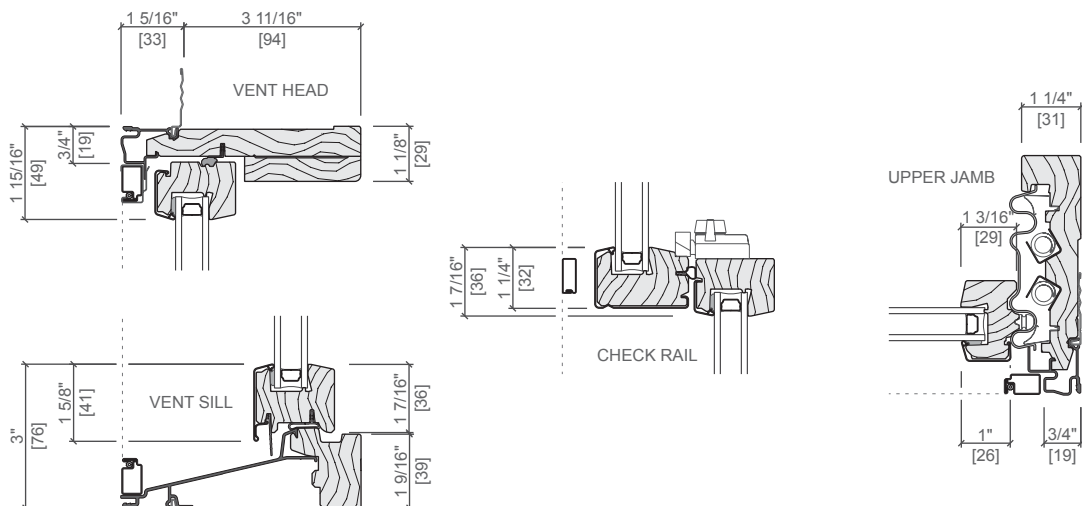
Type of Glazing (Argon fill)	U-Factor	SHGC	VLT %	CR	Energy Star® Capable
Advanced LowE IG	0.30 - 0.33	0.26 - 0.30	0.49 - 0.57	55 - 56	NC
SunDefense™ Low-E IG	0.29 - 0.32	0.20 - 0.22	0.45 - 0.52	56 - 57	NC, SC, S
AdvancedComfort Low-E IG	0.26 - 0.28	0.26 - 0.29	0.48 - 0.55	44 - 45	N, NC
NaturalSun LowE IG	0.30 - 0.33	0.47 - 0.56	0.56 - 0.64	55 - 56	N

Sound Performance

Frame Size Tested	Type of Glazing	STC	OITC
37" x 59"	11/16" with 2.5mm / 2.5mm	27	23
37" x 59"	11/16" with 5mm / 3mm	31	27

Code Approvals: Hallmark Certified; **FPAS#:** Vent=12448; **TDI#:** Vent=WIN-739























































See the Performance section earlier in this manual to learn more about performance standards and ratings. Performance varies based on actual product attributes.



Other frame types are available. Not to scale. All dimensions are approximate.

Standard Sizes - Dual-Pane

Vent Units

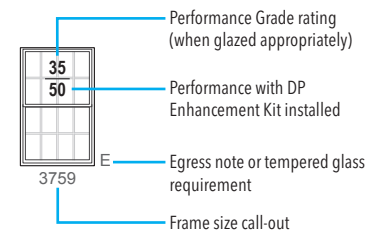
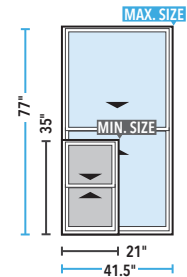
	(552) (533)	(654) (635)	(755) (737)	(857) (838)	(959) (940)	(1 060) (1 041)
Opening	1' 9 3/4"	2' 1 3/4"	2' 5 3/4"	2' 9 3/4"	3' 1 3/4"	3' 5 3/4"
Frame	1' 9"	2' 1"	2' 5"	2' 9"	3' 1"	3' 5"
(908) (889)	 2135	 2535	 2935	 3335	 3735	 4135
(1 060) (1 041)	 2141	 2541	 2941	 3341	 3741	 4141
(1 213) (1 194)	 2147	 2547	 2947	 3347	 3747	 4147
(1 365) (1 346)	 2153	 2553	 2953	 3353	 3753	 4153
(1 467) (1 448)	 2157	 2557	 2957	 3357 E ₁	 3757 E	 4157 E
(1 517) (1 499)	 2159	 2559	 2959	 3359 E ₁	 3759 E	 4159 E
(1 670) (1 651)	 2165	 2565	 2965 E ₁	 3365 E	 3765 E	 4165 E
(1 822) (1 803)	 2171	 2571	 2971 E	 3371 E	 3771 E	 4171 E
(1 975) (1 956)	 2177	 2577 E ₁	 2977 E	 3377 E	 3777 E	 4177 E

Special Sizes - Dual-Pane

Select replacement sizes are available as standard sizes in 1/2" increments.

Transoms and Companion fixed windows available for combinations. See Casement window section for matching glass sightlines, or see the Fixed Frame Direct Set section for availability.

Vent-Equal



Egress Notes:

- E = Window meets minimum clear opening of 24" height, 20" width, and 5.7 sq. ft.
- E₁ = Window meets minimum clear opening of 24" height, 20" width, and 5.0 sq. ft.

Check all applicable local codes for emergency egress requirements.

Maximum performance when glazed with the appropriate glass thickness.

Special size units are available in 1/4" increments.



Pella® Lifestyle Series



#1 performing wood window and patio door
for the combination of energy, sound and value.¹

Aluminum-Clad Wood Windows & Patio Doors



Pella® Lifestyle Series

Four matching Black fixed casement windows with grilles-between-the-glass allow in an abundance of natural light.



Why You Can Trust Pella.

At Pella, we don't just create windows and doors. We innovate with purpose, design with passion, build with integrity and deliver with pride.

Rated #1

by homeowners for innovation²

We are continually striving to improve what we do and how we do it. That drive has earned us 150 patents and counting for amazing innovations. In 1925 we opened our doors with the patented Rolscreen® retractable screen, a time-tested innovation that is still one of our most desired features today.

Rated #1

by homeowners for highest quality²

We make products specifically for you and your comfort with meticulous care and attention. Our wood craftsmen have been honing their skills, on average, for over 14 years – that's longer than it takes most to earn their PhD. And it doesn't stop there. Our product designs are tested beyond industry standards, so you can trust them to perform. Door designs are tested to 100,000 open and close cycles, and double-hung and casement window designs are tested at least 6,000 times.

The Best Limited Lifetime Warranty for wood windows and patio doors³

You can feel confident in your investment. We pride ourselves on providing exceptional quality, exceeding expectations and going beyond requirements. That's why we stand behind all of our products with a limited lifetime warranty.⁴

¹ Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

² Study of homeowner perceptions of leading national brands. Study commissioned by Pella, 2021.

³ Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranties for complete details, including exceptions and limitations, at pella.com/warranty, or contact Pella Customer Service.

⁴ See written warranties for complete details, including exceptions and limitations, at pella.com/warranty, or contact Pella Customer Service.

Beautiful Wood Designs

A Black interior finish on Pella® Lifestyle Series fixed windows and sliding patio door create a bold contrast to the light interior walls.



Why Choose Wood?

Get the beauty and warmth of natural wood, our most customizable designs and exceptional energy efficiency. All Pella wood products are made with high-quality wood, metal and manufacturing processes, regardless of the product line.

Exclusive Wood Protection.

Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly, providing advanced protection against the elements.

Designed for Long-Lasting Durability.

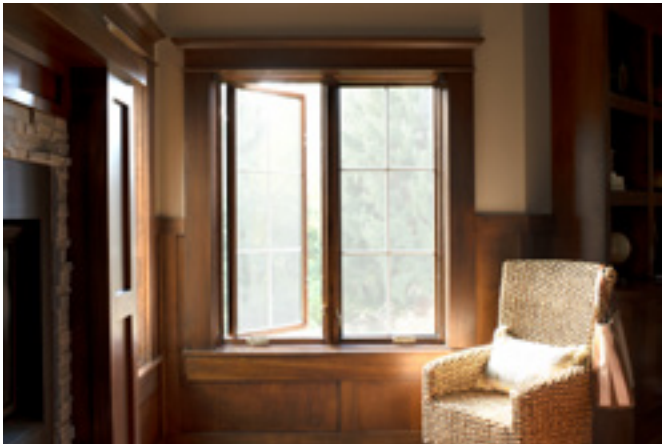
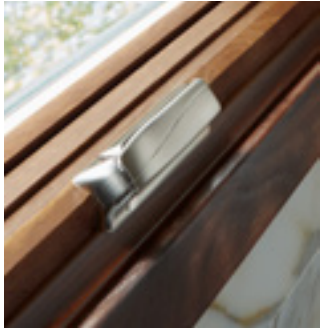
Intentional jamb-on-sill design helps seal the end grain of the wood and elevates it off the rough opening, reducing the potential to absorb moisture. For added strength and durability, our three-way corner joints are made up of mortise-and-tenon, metal fasteners and commercial adhesive.

Quality Exterior and Interior Finishes.

EnduraClad® finish is a tough, protective aluminum finish for the exterior of your home. The overlapping, watershed cladding resists chalking and fading. Interiors can be factory prefinished to save time. The interior finish is applied prior to final assembly and kiln-cured for a quality aesthetic.

Solutions for Real Life

- Four optional performance packages
- Integrated blinds and shades for added privacy
- Backed by the best limited lifetime warranty for wood windows and patio doors¹

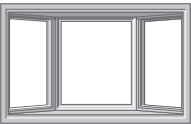


Available in these window & patio door styles:

Special shapes also available.



Awning Window



Bay and Bow Windows



Casement Window



Double-Hung Window



Fixed Window



Sliding Patio Door



Hinged Patio Door

Why Choose Pella® Lifestyle Series?

Pella Lifestyle Series products are the #1 performing wood window and patio door for the combination of energy, sound and value.²

Style Flexibility.

No matter the style of your home, these beautiful wood windows and patio doors offer the most desired features and options. With your choice of beautiful interior and exterior paints or stains, you have the style flexibility to match other finishes throughout your home.

Redefining Performance.

Make your home more comfortable and help keep outside noises out and inside noises in. To make things easier, we've created performance packages to highlight what's most important to you. Upgrade from a dual- to a triple-pane glass design with the available packages to meet the unique needs of each room in your home.³

Room-by-Room Solutions.

Packed with 37 time-tested innovations, you can create solutions for your home, room-by-room. Choose optional integrated security sensors that come factory-installed to preserve the beauty and warranty of your windows and patio doors. Personalize with motorized integrated blinds and shades for added privacy and convenience.



The Best Limited Lifetime Warranty for Wood Windows and Patio Doors¹

You can be confident in your investment. At Pella, we are committed to designing and building wood products with exceptional quality and durability. This is supported by:

EnduraGuard® Wood Protection
Advanced protection for wood against the effects of moisture, decay, stains from mold and mildew – as well as termite damage.

Exterior Aluminum Cladding
Exceptionally durable aluminum cladding with EnduraClad exterior finish helps protect windows and patio doors for years.

Insulating Glass Seal
A long-lasting insulating seal provides a clear view and exceptional energy efficiency.

¹ Based on comparing written limited warranties of leading national wood window and wood door brands. See Pella written Limited Warranty for details, including exceptions and limitations, at pella.com/warranty or contact Pella Customer Service at 877-473-5527.

² Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

³ Double-hung window available only with dual-pane glass.

Designed for Real Life.

The best limited lifetime warranty.¹

Pella wood products are covered by the best limited lifetime warranty for wood windows and patio doors.

Patented triple-pane design.

Pella's patented triple-pane glass design gets you products that provide excellent energy efficiency and sound reduction.

Superior energy efficiency.

Our patented triple-pane design helps make your home more comfortable. Available performance options deliver 79% more energy efficiency than standard single-pane windows.²



¹ Based on comparing written limited warranties of leading national wood window and wood patio door brands. See Pella written Limited Warranty for details, including exceptions and limitations, at pella.com/warranty, or contact Pella Customer Service at 877-473-5527.

² Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when Pella Lifestyle Series windows with the respective performance package are compared to a single-pane wood or vinyl window. Double-hung windows are not available with triple-pane glass. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see pella.com/methodology.

³ Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with respective performance package compared to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

⁴ Available on triple-pane products only.

⁵ The Quiet Mark Certification applies to select products only. For a complete list, visit <https://www.quietmark.com/brands/pella-windows-and-doors>

Noise reducing windows for a healthier home.

Varying glass thicknesses disrupt sound waves and help give you exceptional sound control. With available performance options, they cancel 52% more indoor and outdoor noise than standard single-pane windows.³

Increased privacy and security.

Integrated blinds and shades were intentionally designed to be accessible.⁴ They are tucked between panes of insulating glass and protected from dust, pets and little hands. Available manual or motorized with Pella Insynctive® technology.

Trusted innovations.

Pella® Lifestyle Series windows and patio doors with integrated blinds and shades have been recognized by Parents for Window Blind Safety and have been certified as Best for Kids. Certain triple-pane products with the Sound Package have been awarded the Quiet Mark Certification in recognition of outstanding acoustic performance – Pella is the first U.S. window manufacturer to be awarded this seal.⁵



Bright Natural Light
Fixed windows above double-hung windows and a hinged patio door, all in White, allow light to stream into the home.



Colors & Finishes

Wood Type

Wood species for complementing your home's interior.

Pine

Prefinished Pine Interior Colors

We can prefinish in a wide variety of paints and stains. Unfinished or primed and ready-to-paint are also available.

White

Bright White

Linen White

Natural Stain¹

Golden Oak Stain

Early American Stain

Provincial Stain

Dark Mahogany Stain¹

Red Mahogany Stain¹

Black Stain

Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading and helps protect your windows and patio doors for years.

Black

White

Brown

Fossil

Iron Ore

Portobello

Putty

Almond

Classic White


Brick Red

Hartford Green


Wolf Gray

Glass²


InsulShield® Low-E Glass




Advanced Low-E insulating dual- and triple-pane glass with argon³



AdvancedComfort Low-E insulating dual- and triple-pane glass with argon³




NaturalSun Low-E insulating dual- and triple-pane glass with argon³




SunDefense™ Low-E insulating dual- and triple-pane glass with argon

Additional Glass Options



Tempered glass available on dual- and triple-pane products



Obscure and frosted glass available on dual- and triple-pane products

¹ Color availability may be limited. Please contact your local Pella rep for details.
² Double-hung window available with dual-pane glass only.
³ Optional high-altitude Low-E insulating glass does not contain argon in most products. Please see your local Pella sales representative for more information.

12

Performance Packages

To make things easier, we've created performance packages that highlight what's most important to you.

Performance solutions offer an unbeatable combination of energy efficiency, sound control and value.¹ Upgrade from a dual- to a triple-pane glass design with the packages below to meet the unique needs of each room in your home.

All values below are averages compared with single-pane windows.

Performance
Improved energy efficiency and sound performance.

71%
More Energy Efficient² + **34%**
Noise Reduction³

Sound Control
Exceptional noise control for a quieter home.

52%
Noise Reduction³

Energy Efficiency
Superior energy efficiency for a more comfortable home.

83%
More Energy Efficient²

Ultimate Performance
The best combination of energy efficiency and noise control.

79%
More Energy Efficient² + **52%**
Noise Reduction³

Scan the QR code with your smartphone camera to learn more about how each performance package can benefit your home.

¹ Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glazing thickness glass. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.
² Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when Pella Lifestyle Series windows with the respective performance package are compared to a single-pane wood or vinyl window. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see pella.com/methodology.
³ Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with respective performance package compared to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

13

Grilles

Grille Types

Choose the look of true divided light or make cleaning easier with grilles-between-the-glass.

Dual-Pane:

Simulated-Divided-Light with Spacer 7/8"

Simulated-Divided-Light without Spacer 7/8"

Roomside Removable Grilles 3/4"^{1,2}

Aluminum Grilles-Between-the-Glass 3/4"³

Triple-Pane:

Simulated-Divided-Light with Aluminum Contoured Grilles-Between-the-Glass 3/4"³

Aluminum Grilles-Between-The-Glass 3/4"³

Grille Patterns

In addition to the patterns shown here, custom grille patterns are available.

Traditional

9-Lite Prairie

Top Row

Cross

Custom

Screens⁴

Rolscreen®

Rolscreen soft-closing retractable screens roll out of sight when not in use. Available on casement windows and sliding patio doors.

Flat

InView™ screens are clearer than conventional screens and come standard. Vivid View® screens offer the sharpest view and are optional.

InView™

Vivid View®

Added Peace of Mind

Integrated Security Sensors

Optional integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella® Insynctive® App and are compatible with major security panel systems.⁵ For more information, go to connectpella.com.

¹ Feature availability may be limited. Please contact your local Pella rep for details

² Color-matched to your product's interior and exterior color.

³ Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

⁴ Warning: Screen will not stop child or pet from falling out of window or door. Keep child or pet away from open window or door.

⁵ Requires the Pella Insynctive App on a smart device, an Insynctive Bridge and a wireless home internet router with internet connection.

14

Integrated Blinds & Shades

Integrated Blinds^{*}

Raise blinds up for an unobstructed view or tilt to let in just the right amount of light. Our best integrated and accessible blinds are available with or without motorization powered by Pella Insynctive® technology.

White

Poplar White

Bisque

Golden

Mocha

Storm

Black

Integrated Shades^{*}

Our best integrated fabric shades are available with or without motorization powered by Pella Insynctive® technology. They feature a white exterior fabric for a uniform look from the street.

Light-Filtering:

White

Maize

Silver

Room-Darkening:

Cotton

Bamboo

Ash

Haven't landed on your final blind or shade color yet? No problem.

With our patented triple-pane design, you can make the decision later in the process. Our triple-pane products come with all of the hardware to add blinds or shades before they arrive to your home or later in the building or remodeling process.

Scan the QR code with your smartphone camera to learn more about our Insynctive motorized blinds and shades.

Window Hardware

Essential Collection

Our most popular design with finishes to suit every style.

Fold-Away Crank

Cam-Action Lock

Finishes:

Champagne

White

Brown

Matte Black

Satin Nickel

Oil-Rubbed Bronze

Patio Door Hardware

Essential Collection

Elevate your style and transform your home with elegant selections.

Hinged Patio Door Handle

Sliding Patio Door Handle

Finishes:

Champagne

White

Brown

Matte Black

Satin Nickel

Oil-Rubbed Bronze

^{*} Available on triple-pane products only.

15



The confidence of a strong warranty.

Pella® Lifestyle Series products are backed by the best limited lifetime warranty for wood windows and patio doors.* See written limited warranty for details, including exceptions and limitations, at pella.com/warranty.

NOTE: Product specifications may change without notice.
Actual colors may vary from those shown and products may vary slightly from illustrations and photos.

Want to learn more? Visit pella.com

*Based on comparing written limited warranties of leading national wood window and wood patio door brands.
See written limited warranty for details, including exceptions and limitations, at pella.com/warranty.



Connect with Pella:



Cost Estimate for the Demolition of shed and Construction of a new garage apartment

After seeing the property firsthand and seeing the condition of the existing shed structure in the rear, DHR has developed a Cost Estimate for the demolition of the shed structure along with the construction of a new garage apartment. The demolition of the existing 600 sqft. structure will be about \$9,900. The current structure is not built to today's building codes and will not pass today's energy codes. All walls are bare and outer walls have no insulation. The existing framing is not in good shape and has been ridden with termites. The existing foundation will also need to be demolished based on the condition of the concrete floors and driveway at an estimated cost of \$11,700. In total, the cost for demolition and hauling would be approximately \$21,600.

In return, the foundation of a new garage apartment will be strong enough to hold a 2-story structure and will use the same footprint as the previous. The new building will be constructed to today's Building & Energy Codes. The basic cost for this new rehabilitation would be an estimated \$145,482.00. The new structure will have matching wood siding as the main dwelling.



ESTIMATE SHEET

COST ESTIMATE

5/3/2022

For Zarobkiewicz Residence Project #22-012

702 Hays St., S.A. TX 78202

Take-off Data

sq. ft.

Owner:

Kuba & Kimberly Zarobkiewicz

Demolition of Existing Shed & Slab

New Foundation

600

600

GENERAL CONDITIONS

		Units	\$/unit	Budget	Notes
Demolition Permit	A	Allow		600	
Building Permit		Allow		600	
Insurance	Mo.	3	250.00	750	
Trash Haul	Pulls	4	350.00	1,400	
Temporary Electrical Power	Mo.	3	100.00	300	
General Clean-up	A	3	500.00	1,500	

Demolition

Shed	600	16.50	9,900	
Foundation	600	19.50	11,700	

Building

Clearing & grading			1,500	
Rough-in Plumbing			3,800	
Electrical Rough-in			3,600	
(New Restroom)			3,800	
Framing Labor	SF	600	10.00	6,000
Framing Materials	SF	600	10.00	6,000
Wood Siding	SF	1632	12.00	19,584
Doors and Frames & Hdw.	Ea	4	1,500.00	6,000
Asphalt Shingles	SQ	10	500.00	5,000
Moisture Protection	A	1632	2.00	3,264
Painting - Materials & Labor	SF	2746	5.00	13,730
Flooring & Base	SF	1100	2.00	2,200
Plumbing Fixtures	SF	1632	5.00	8,160
Interior doors & Hardware		4	500.00	2,000

SUB-TOTAL 111,388.00 Includes taxes

OVERHEAD 20% 22,277.60

PROFIT 10% 11,138.80

GENERAL CONDITIONS 20% 22,277.60

GRAND TOTAL 167,082.00

































